

# PARK AVENUE GREEN LIVING MIXED-USE DEVELOPMENT

487 PARK AVENUE  
WORCESTER, MA 01603

## SHEET INDEX

No.	Title	Issue Date
C001	Cover Sheet	March 25, 2024
C101	Site Demo & Sediment and Erosion Control Plan	March 25, 2024
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C502	Site Details - 2	March 25, 2024
C503	Site Details - 3	March 25, 2024
C504	Site Details - 4	March 25, 2024

## REFERENCE PLAN INDEX

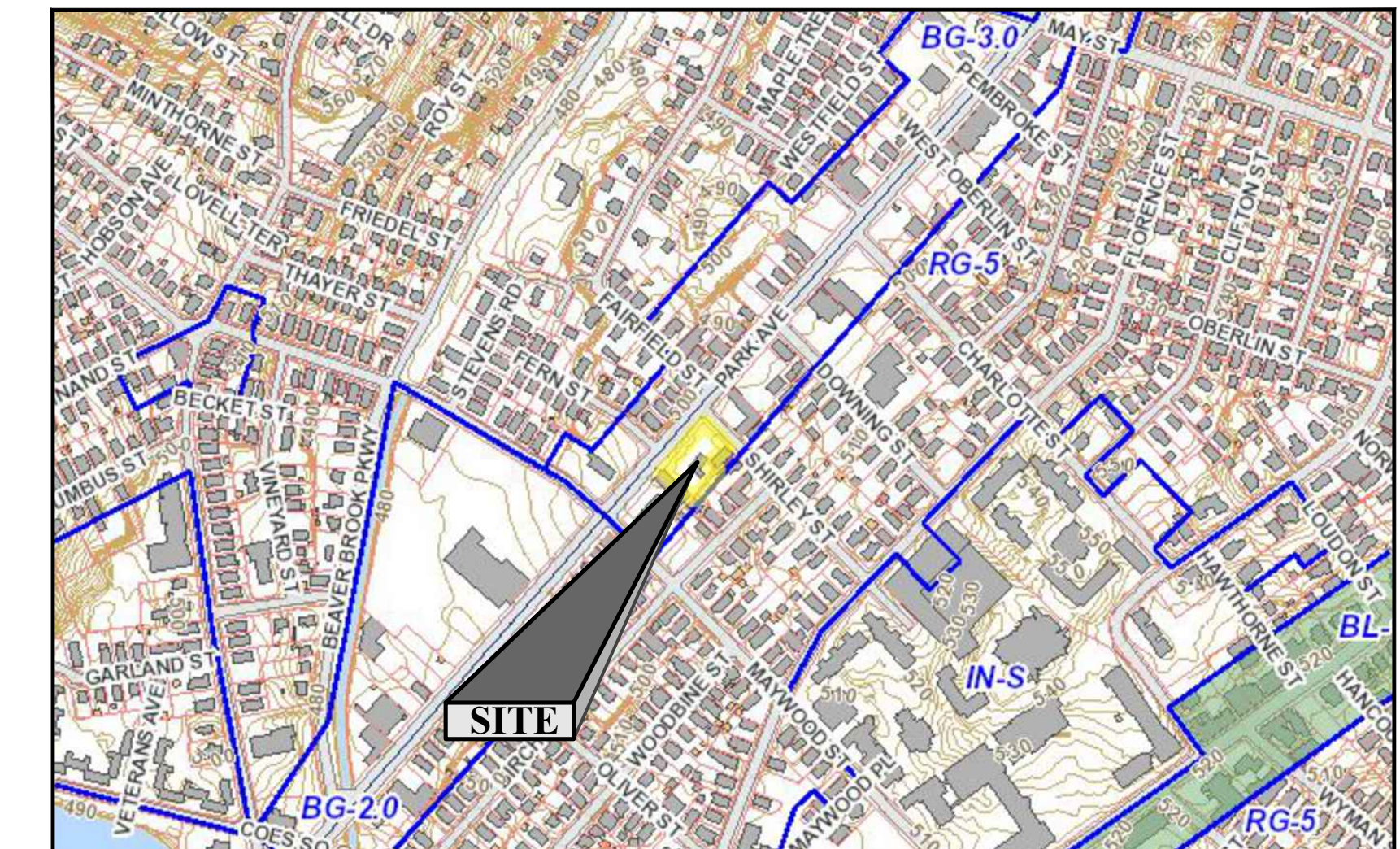
No.	Title	Issue Date
E1	Existing Conditions Plan (HS&T)	August 28, 2023

## REVISIONS/ISSUES

No.	Note	Date
1	Issued for Permitting	March 25, 2024



**LOCUS PLAN - AERIAL**  
SOURCE: GOOGLE EARTH SCALE: 1"=500'



**LOCUS PLAN - GIS**  
SOURCE: WORCESTER GIS SCALE: 1"=500'

### OWNER/APPLICANT

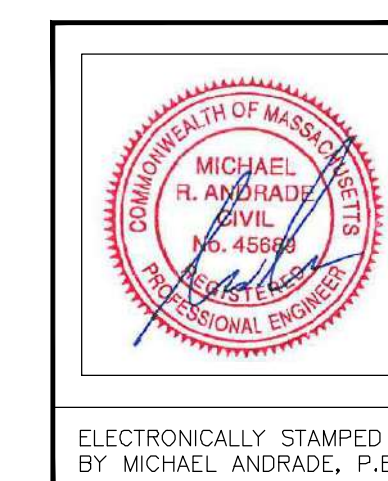
Gjinko Realty, LLC  
487 Park Avenue  
Worcester, MA 01610

### ARCHITECT

AA Design Services, LLC  
43 Monroe Avenue  
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ELECTRONICALLY STAMPED  
BY MICHAEL ANDRADE, P.E.



**PROJECT ZONING INFORMATION**

CRITERIA	REQUIRED	PROPOSED
USE	AUTO SALES (EXIST.)	MIXED USE
ZONING DISTRICT	BG-3.0	BG-3.0
OVERLAY DISTRICT	NONE	NONE
MINIMUM LOT AREA	5,000 SQ.FT.(1)	21,968 SQ. FT.
MINIMUM FRONTAGE	40 FT./DU (2)	194.41 FT. (3)
FRONT SETBACK	NA	0 FT.
SIDE SETBACK	NA	0 FT.
REAR SETBACK	10 FT.(4)	44.1 FT.
MAXIMUM BLDG. STORIES	NA	6
MAXIMUM BLDG. HEIGHT	100 FT.	75 FT.
BLDG. LOT COVERAGE	N/A	32.9%
MAXIMUM F.A.R.	3:1	1.8:1
LANDSCAPE PARKING BUFFER	5 FT.	2 FT. (5)
LOT IMPERVIOUS COVERAGE	93%	88%
RECREATION AREA	10% OF LOT AREA	3,856 SQ.FT. (17.5%) (6)

ZONING INFORMATION SOURCE: THE ABOVE INFORMATION WAS OBTAINED FROM THE CITY OF WORCESTER ZONING ORDINANCE, AMENDED THROUGH MAY 9, 2023.

**FOOTNOTES:**

- (1) 5,000 SQ.FT. REQ'D FOR RESIDENTIAL USE, NA FOR NON-RESIDENTIAL USE.
- (2) MAX. 200 FT. REQUIRED FOR RESIDENTIAL USE; NA FOR NON-RESIDENTIAL USE.
- (3) RELIEF SOUGHT FOR OF 5.59 FEET OF FRONTAGE (SEE TABLE THIS SHEET).
- (4) 10 FT. REQUIRED FOR BOTH RESIDENTIAL AND NON-RESIDENTIAL USE.
- (5) RELIEF SOUGHT FOR REDUCTION OF LANDSCAPE PARKING BUFFER (SEE TABLE THIS SHEET).
- (6) RECREATION AREA INCLUDES INTERIOR COMMON SPACES AND EXTERIOR AREAS OUTSIDE OF THE PARKING BUFFER.

**SHEET NOTES**

- 1) ALL DIMENSIONS ARE MEASURED FROM TOE OF CURB OR CENTER OF PAINTED LINE.
- 2) THE CONTRACTOR SHALL COORDINATE WITH PLANS BY OTHERS (ARCHITECTURAL, STRUCTURAL, MEP, ETC.)
- 3) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.
- 4) ALL JOINTS OF EXISTING & PROPOSED BITUMINOUS PAVEMENT SHALL BE SEALED WITH HOT RUBBERIZED ASPHALT JOINT SEALANT AND SANDED.
- 5) THE SITE CONTRACTOR SHALL COORDINATE WITH MECHANICAL/HVAC PLANS FOR ADDITIONAL EXTERIOR EQUIPMENT PADS THAT MAY NOT BE SHOWN ON THESE DRAWINGS.
- 6) THE CONTRACTOR SHALL WORK WITHIN THE PARK AVENUE AND SHIRLEY STREET RIGHT-OF-WAYS WITH THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS AND PARKS WITH REGARD TO THIS PROJECT'S WORK AND THE PROPOSED/CONSTRUCTED STREET IMPROVEMENTS.

**PROJECT RELIEF SOUGHT**

THE PROJECT SEEKS THE FOLLOWING APPROVALS FROM THE CITY OF WORCESTER:

**ZONING BOARD OF APPEALS:**

- 1) **VARIANCE** TO ALLOW FOR THE EXISTING FRONTAGE OF 194.41 FEET TO REMAIN IN LIEU OF THE REQUIRED 200 FEET.

**PLANNING BOARD:**

- 1) **SPECIAL PERMIT** TO FURTHER REDUCE PARKING BY 31 PARKING SPACES FOR A TOTAL OF 34 PROVIDED PARKING SPACES IN LIEU OF THE REQUIRED 65 PARKING SPACES (AFTER THE ART. VII REDUCTION).
- 2) **SPECIAL PERMIT** TO ALLOW FOR 50% OF THE PARKING SPACES TO BE COMPACT (ART. IV, SECTION 7, TABLE 4.4, NOTE 3).
- 3) **SPECIAL PERMIT** TO REDUCE THE LANDSCAPE BUFFER FROM THE REQUIRED 5 FEET TO 2 FEET FOR A PORTION OF THE PROJECT (ART. IV, SECTION 7, TABLE 4.4, NOTE 5).



**PARKING SCHEDULE**

USE	CALCULATION	PARKING REQUIREMENT
RESIDENTIAL - MULTI-FAMILY DWELLING	40 DU x 2 SPACES/DU	80 SPACES
AUTO SERVICE	2 BAYS x 1 SPACE/BAY	2 SPACES
BUSINESS - FOOD SERVICE	10 PERSONS x 0.5 SPACES/OCCUPANCY	5
<b>SUBTOTAL (BASE PARKING REQUIREMENT)</b>		<b>87 SPACES</b>
ARTICLE VII REDUCTION (SECTION 6.A.ii.a)	ALLOWED 25% REDUCTION	-22 SPACES
<b>SUBTOTAL (ADJUSTED PARKING REQUIREMENT)</b>		<b>65 SPACES</b>
<b>TOTAL PARKING PROVIDED</b>		<b>34 SPACES (1)(2)</b>

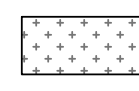
**NOTES:**

- (1) SEE TABLE THIS SHEET FOR PARKING RELIEF SOUGHT. ARTICLE VII PARKING REDUCTION IS AVAILABLE BASED ON THE PROJECT'S PROPOSED PERCENTAGE OF UNITS AVAILABLE AT THE REQUIRED AMI LIMITS PER THE BYLAW.
- (2) THE PROPOSED PARKING CONSISTS OF THE FOLLOWING:  
 15 STANDARD SPACES (9'x18')  
 17 COMPACT SPACES (8'x18') - 50%  
 2 VAN ACCESSIBLE HANDICAP SPACES (8'x18')  
 34 TOTAL SPACES

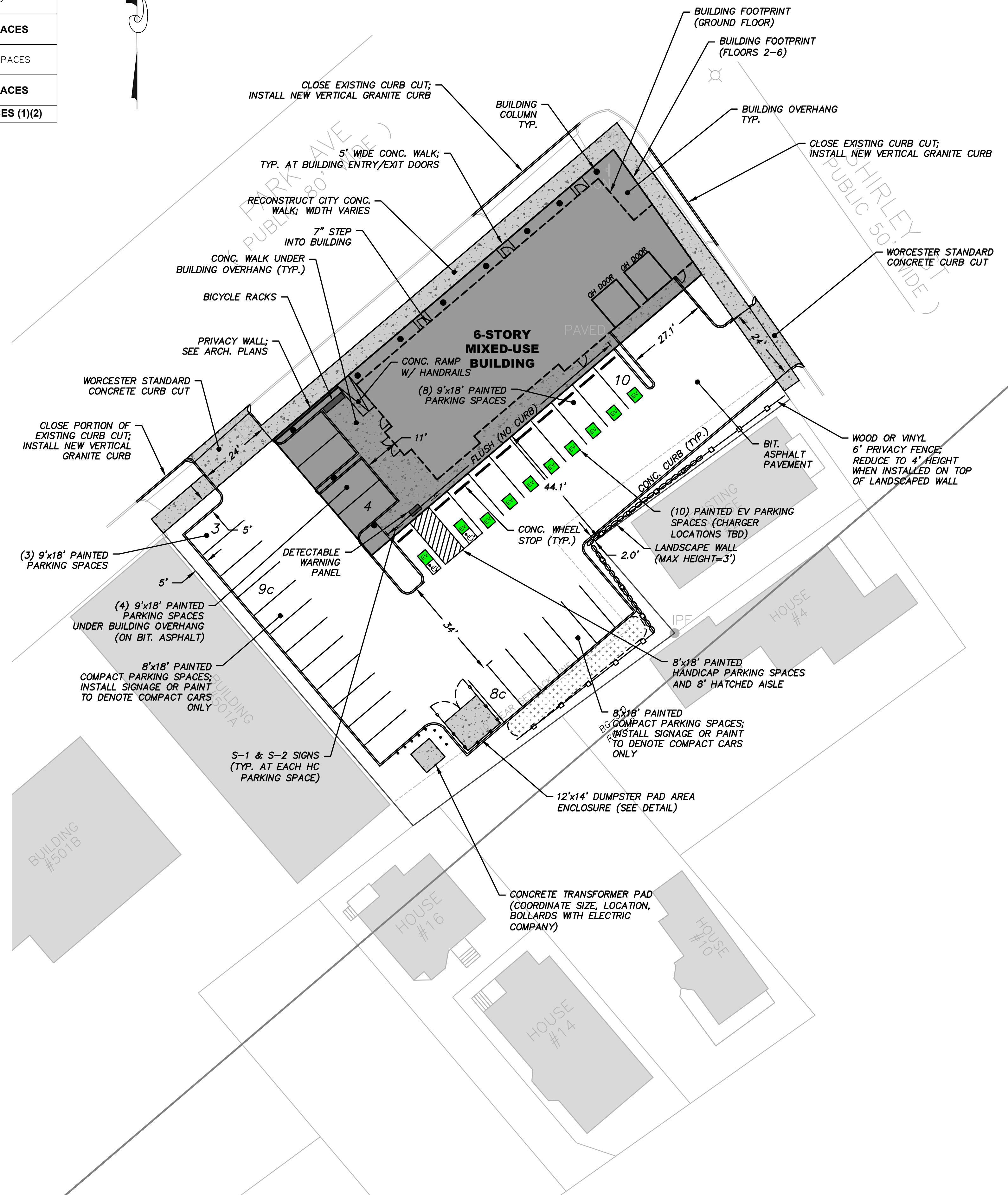
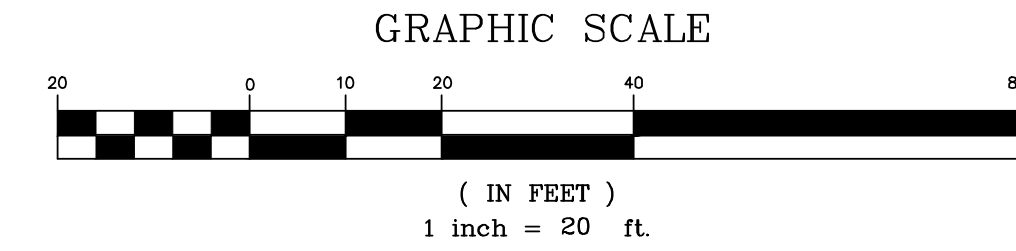
**SIGNAGE KEY**

GEI ID	FEDERAL ID	SIGN SIZE		SIGN LAYOUT	QUANTITY
		WIDTH	HEIGHT		
S-1	R7-8	12"	18"		2
S-2	R7-8a	12"	6"		2

**SNOW STORAGE NOTES**

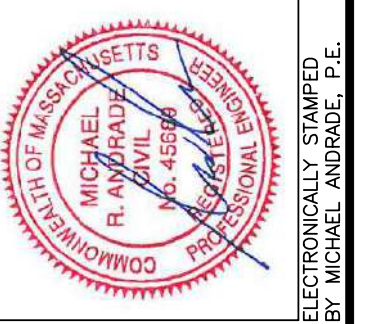
SNOW SHALL BE STORED WITHIN AREAS AS SHOWN ON THIS SHEET DESIGNATED BY THIS HATCHING 

SNOW STORAGE LOCATIONS SHOWN REPRESENT THE MINIMUM NECESSARY AND THE OWNER SHALL EXPAND SUCH AREAS AS NEEDED. SNOW SHALL NOT BE PLACED SO AS TO INHIBIT VEHICLE SIGHT LINES FOR ENTERING AND EXITING THE SITE AND INTERNAL SITE CIRCULATION NOR PLACED TO INHIBIT SITE DRAINAGE. EXCESS SNOW SHALL BE HAULED OFF-SITE AS NECESSARY.



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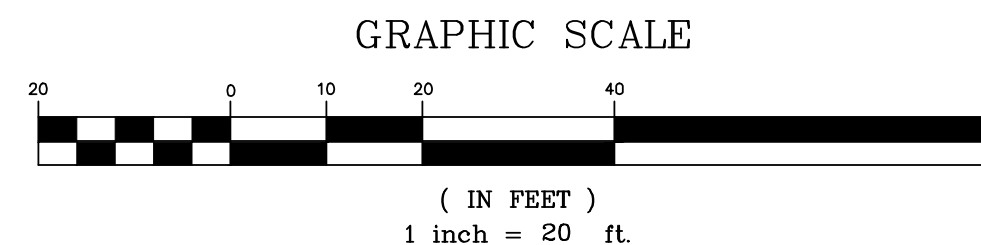
**LAYOUT PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
 487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
 487 PARK AVENUE, WORCESTER, MA 01603

DATE: 03/25/24 SCALE: 1"=20'  
 DES. BY: DFS  
 DRW. BY: DFS  
 CHK. BY: MRA  
 PRL. NO.: 23125

SHEET NOTES

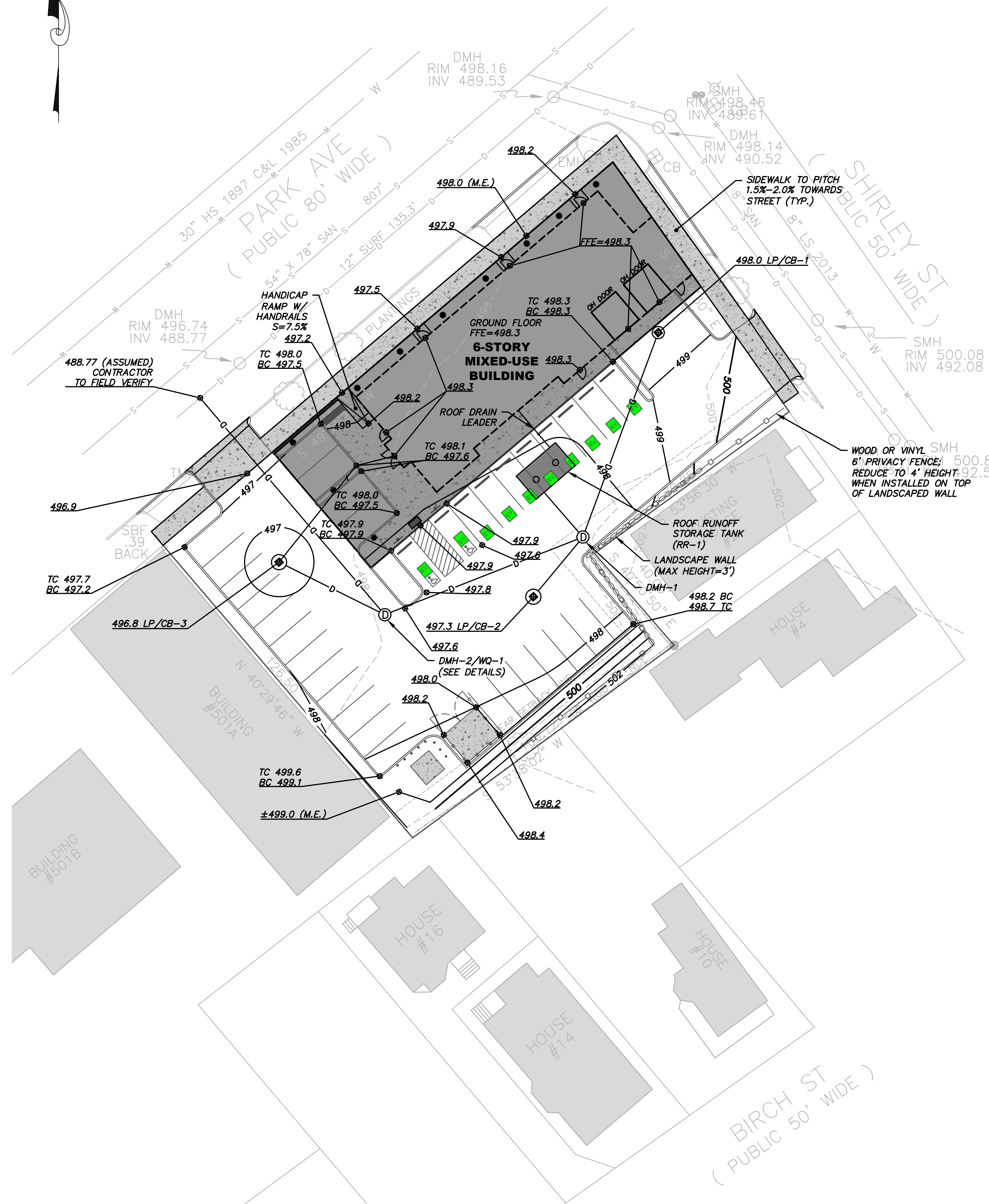
- 1) PROVIDE POSITIVE DRAINAGE IN ALL FINISH GRADED WORK AREAS INCLUDING AWAY FROM ALL BUILDINGS.
- 2) ADJUST ALL STRUCTURES TO PROPOSED FINISH GRADES WITHIN THE LIMIT OF WORK.
- 3) ALL DISTURBED AREAS OUTSIDE OF PAVEMENT SHALL BE RESTORED WITH 6 INCHES OF LOAM AND SEEDED OR LANDSCAPED IN ACCORDANCE WITH THE LANDSCAPING PLANS.
- 4) ALL FINISHED GRASSED SLOPES EQUAL TO OR GREATER THAN A 3:1 SLOPE SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING SUCH AS SC-150 BY NORTH AMERICAN GREEN, CURLEX II BY AMERICAN EXCELSIOR, OR ENGINEER APPROVED EQUAL. COORDINATE MATTING LOCATIONS WITH THE LANDSCAPE PLANS AND GROUND COVER MATERIALS.
- 5) PROPOSED GRADES AS SHOWN SHALL BE CARRIED TO ALL PAVEMENT CORNERS HOWEVER GRADE ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR AS NECESSARY TO PROVIDE POSITIVE DRAINAGE FROM ALL CORNERS.
- 6) SPOT GRADE KEY:  
 (ME) = MATCH EXISTING GRADE  
 TC = TOP OF CURB FINISH GRADE  
 BC = BOTTOM OF CURB FINISH GRADE  
 FFE = BUILDING FINISH FLOOR ELEVATION  
 CB = CATCH BASIN  
 HP = HIGH POINT  
 LP = LOW POINT  
 TW = TOP OF WALL (FINISH GRADE)  
 BW = BOTTOM OF WALL (FINISH GRADE)
- 5) PRIOR TO WORK, THE CONTRACTOR SHALL VERIFY THE DEPTH OF COVER OVER THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF THE PROPOSED WORK. IF ADEQUATE COVER IS NOT PRESENT TO THE PROPOSED FINISH GRADES, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY BEFORE BEGINNING WORK IN THIS AREA.
- 6) HANDICAP RAMPS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED IN CONFORMANCE WITH 521 CMR "ARCHITECTURAL ACCESS BOARD" REGULATIONS. SHOULD ANY DISCREPANCIES BE DISCOVERED ON THESE DRAWINGS THAT MAY PREVENT FULL COMPLIANCE WITH SAID REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.



PROPOSED STORM DRAIN ELEVATION TABLE									
STRUCTURE	RIM ELEV.	STRUCTURE ELEVATIONS			NOTES	PIPE DATA			
		PENETRATIONS	INVERT			FROM	TO	LENGTH (ft.)	SLOPE (%)
CB-1	498.0	8" DR18 OUT (DMH-1)	494.00			CB-1	DMH-1	69.7	1.50
DMH-1	497.7	8" DR18 IN (CB-1)	492.95						
		10" PVC IN (RR-1)	494.91						
		8" DR18 IN (CB-2)	492.95						
		12" HDPE OUT (DMH-2)	492.85			DMH-1	DMH-2	66.0	2.00
CB-2	497.3	8" DR18 OUT (DMH-1)	493.30			CB-2	DMH-1	23.0	1.50
DMH-2	497.3	8" DR18 IN (CB-3)	492.55	WQ-1 (STC 450)					
		12" HDPE IN (DMH-1)	491.49						
		12" DR18 OUT (EXISTING PARK AVE)	491.39			DMH-2	PARK AVE	92.7	2.83
CB-3	496.8	8" DR18 OUT (DMH-2)	493.13			CB-3	DMH-2	36.4	1.59
RR-1	497.8	10" PVC IN (ROOF LEADERS)	495.50						
		10" PVC OUT (DMH-1)	495.30			RR-1	DMH-1	19.5	2.00

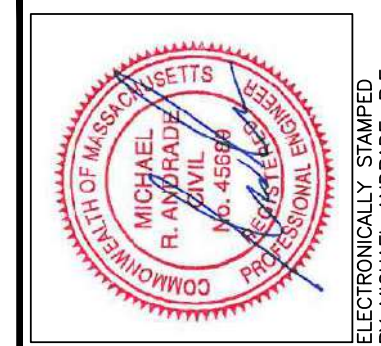
DRAINAGE TABLE KEY:

INV.: PIPE INVERT ELEVATION  
 ID: INSIDE DIAMETER  
 CB-#: CATCH BASIN-NUMBER  
 DMH-#: DRAIN MANHOLE-NUMBER  
 HDPE: HIGH DENSITY POLYETHYLENE DRAINAGE PIPE  
 PVC: SCH40 PVC PIPE  
 DI: DUCTILE IRON  
 TBD: TO BE DETERMINED  
 WQU-1: STORMWATER WATER QUALITY UNIT, STORMCEPTOR 450i OR ENGINEER APPROVED EQUAL  
 RR: ROOF RUNOFF STORMWATER TANK  
 DR18: DR-18 PVC PIPE (BLUE BRUTE OR EQUAL)



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**GRADING & DRAINAGE PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
 487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
 487 PARK AVENUE, WORCESTER, MA 01603

DATE: 03/25/24 SCALE: 1"=20'  
 DES. BY: DFS  
 DRW. BY: DFS  
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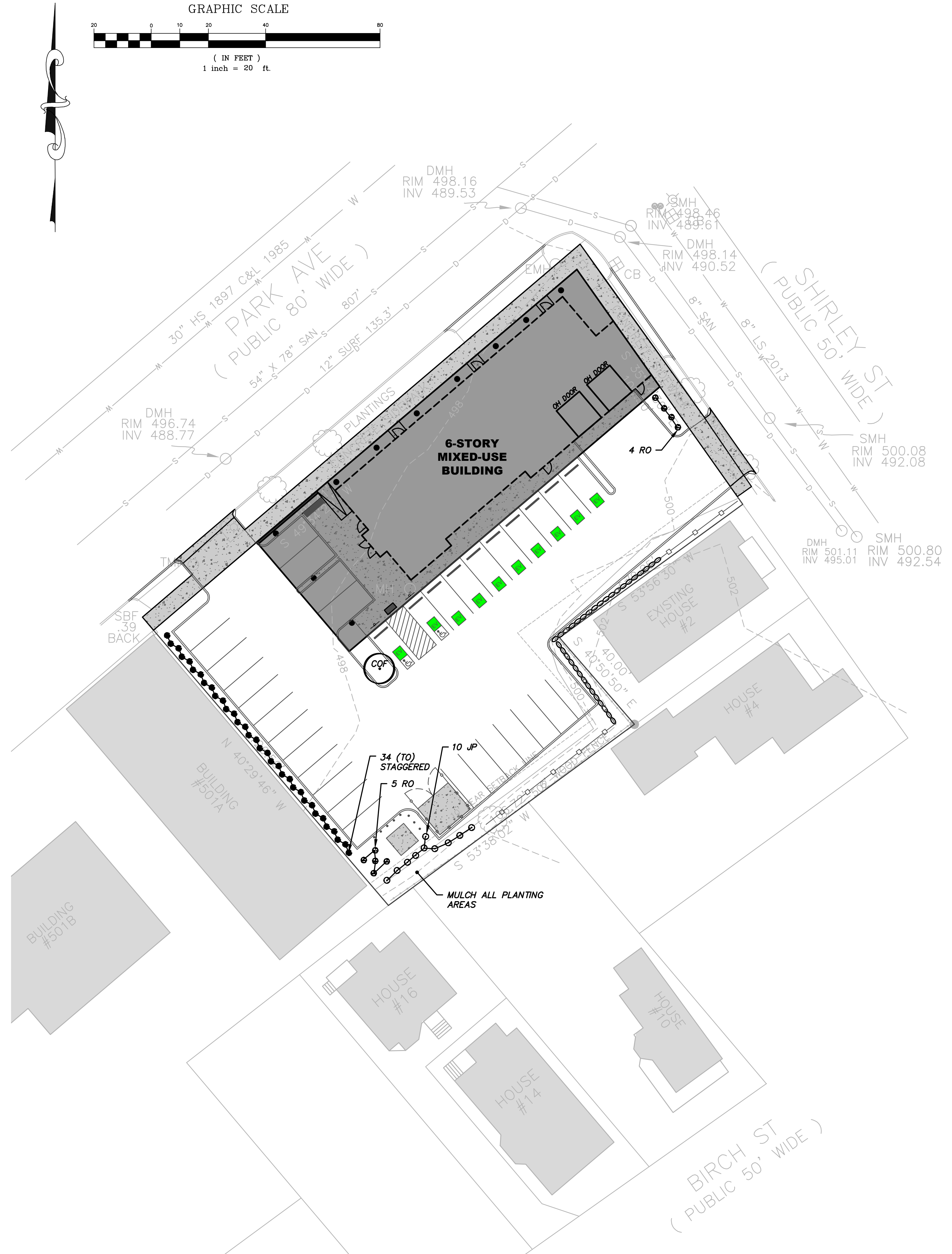


SHEET NOTES

- 1) ALL PLANTINGS SHALL BE ASIAN LONGHORN BEETLE AND EMERALD ASH BORER RESISTANT, NON-HOST SPECIES. SPECIES NOTED ON THIS PLAN MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER.
- 2) ALL PLANTINGS SHALL BE WATERED AND FERTILIZED AS NECESSARY UNTIL ESTABLISHED. THE CONTRACTOR SHALL INSTALL A SLOW-RELEASE WATERING BAG AT EACH TREE PLANTING.
- 3) TREES SHALL BE SUPPORTED BY TEMPORARY STAKING AS NECESSARY UNTIL ESTABLISHED.

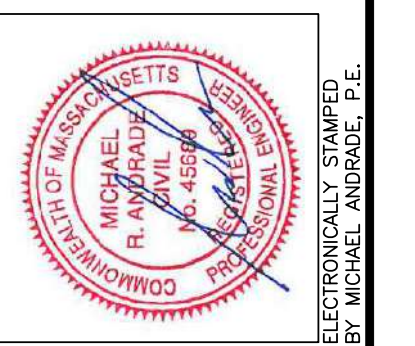
PLANTING LIST

CODE	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>ORNAMENTAL TREES</b>					
COF	1	CORNUS FLORIDA	FLOWERING DOGWOOD	3" CAL.	⊙ 6" ABOVE GROUND
<b>SHRUBS</b>					
TO	34	T. OCCIDENTALIS SMARAGD	EMERALD GREEN ARBORVITAE	4'-5' HT.	PLANT WHERE SHOWN; 24"-36" O.C.
RO	9	RHODODENDRON 'ROBLEZA'	AUTUMN BONFIRE	2' HT.	3 GALLON
JP	10	JUNIPERUS HORIZONTALIS	BLUE RUG JUNIPER	2' HT.	2 GALLON



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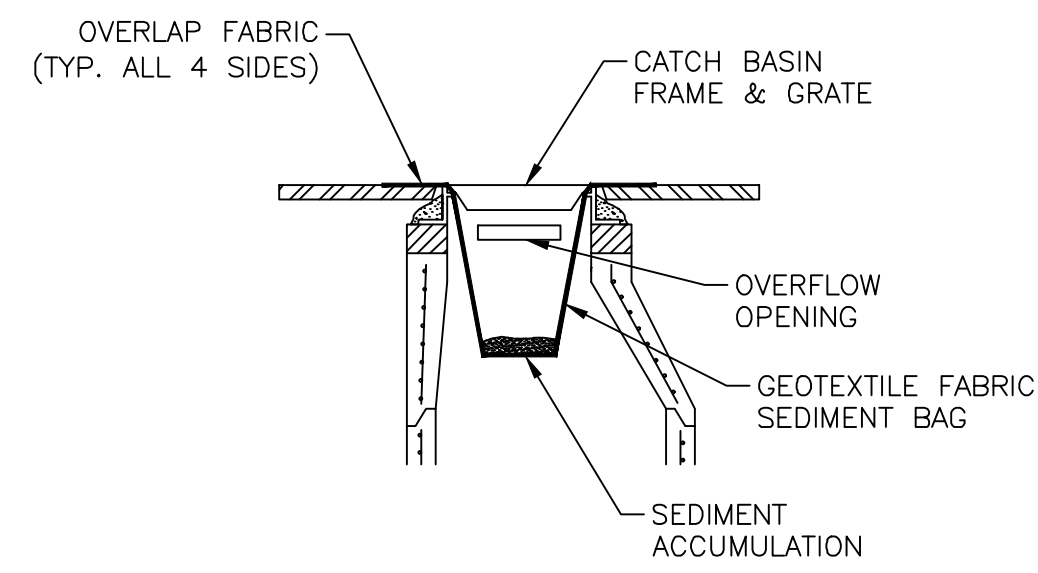
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**LANDSCAPE PLAN**  
**PARK AVENUE GREEN LIVING - MIXED-USE DEVELOPMENT**  
487 PARK AVENUE, WORCESTER, MA

PREPARED FOR: OLSI G/INKO  
487 PARK AVENUE, WORCESTER, MA 01603

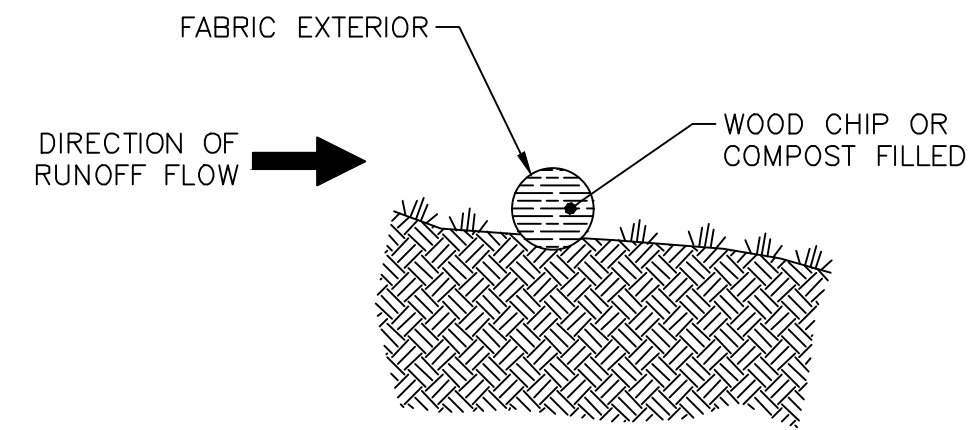
DATE: 03/25/24 SCALE: 1"=20'  
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**CATCH BASIN SEDIMENT BAG** NTS

**NOTES:**

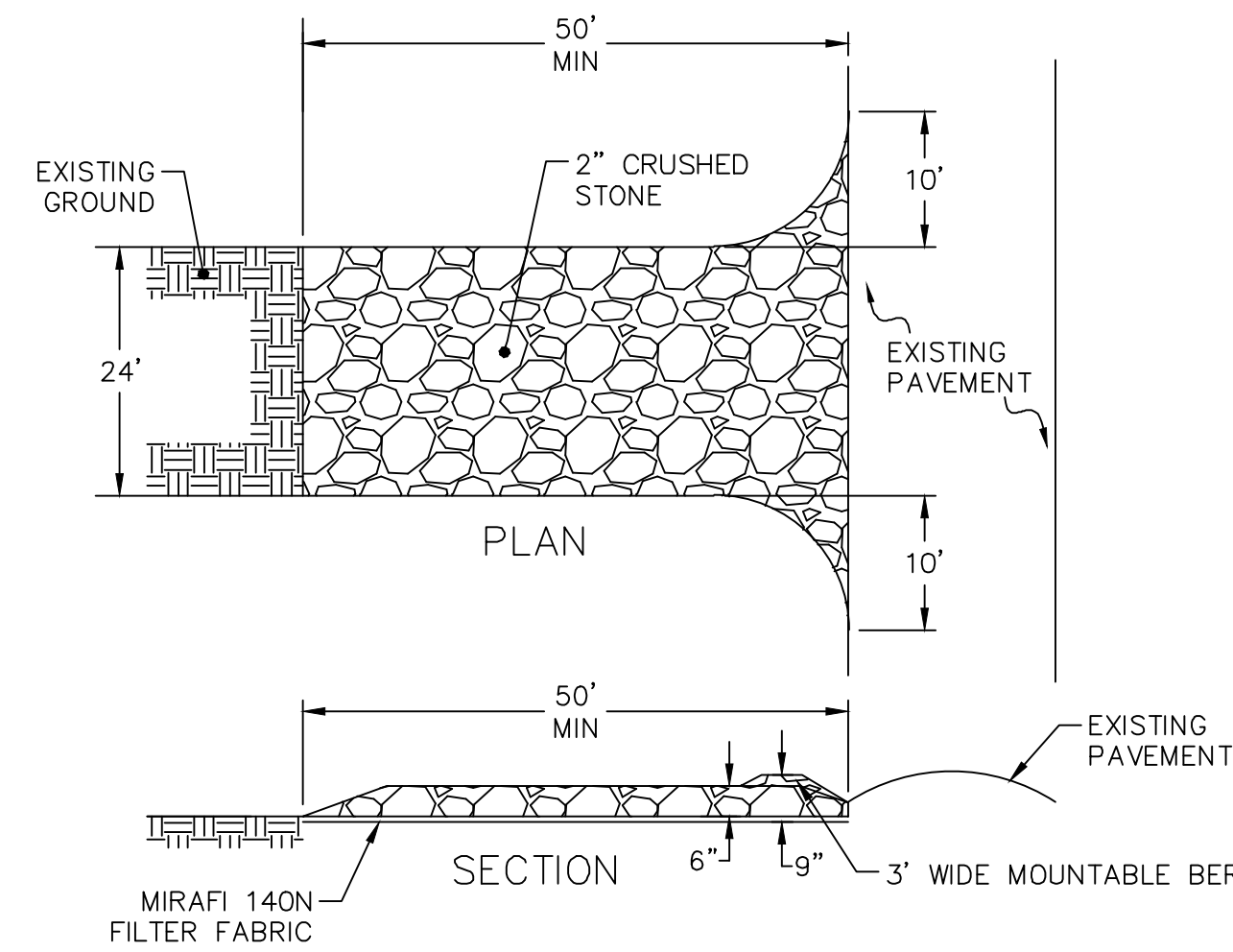
- 1) SEDIMENT BAG SHALL BE SILTSACK BY ACF ENVIRONMENTAL, OR APPROVED EQUAL.
- 2) OIL ABSORPTION MEDIUM MAY ALSO BE PLACED IN BAG (OPTIONAL).
- 3) INSTALL AND MAINTAIN PER MANUFACTURER'S INSTRUCTIONS.
- 4) A SEDIMENT BAG SHALL BE PROVIDED FOR PROPOSED CATCH BASINS THAT ARE ACCEPTING STORMWATER RUNOFF PRIOR TO FINAL STABILIZATION.



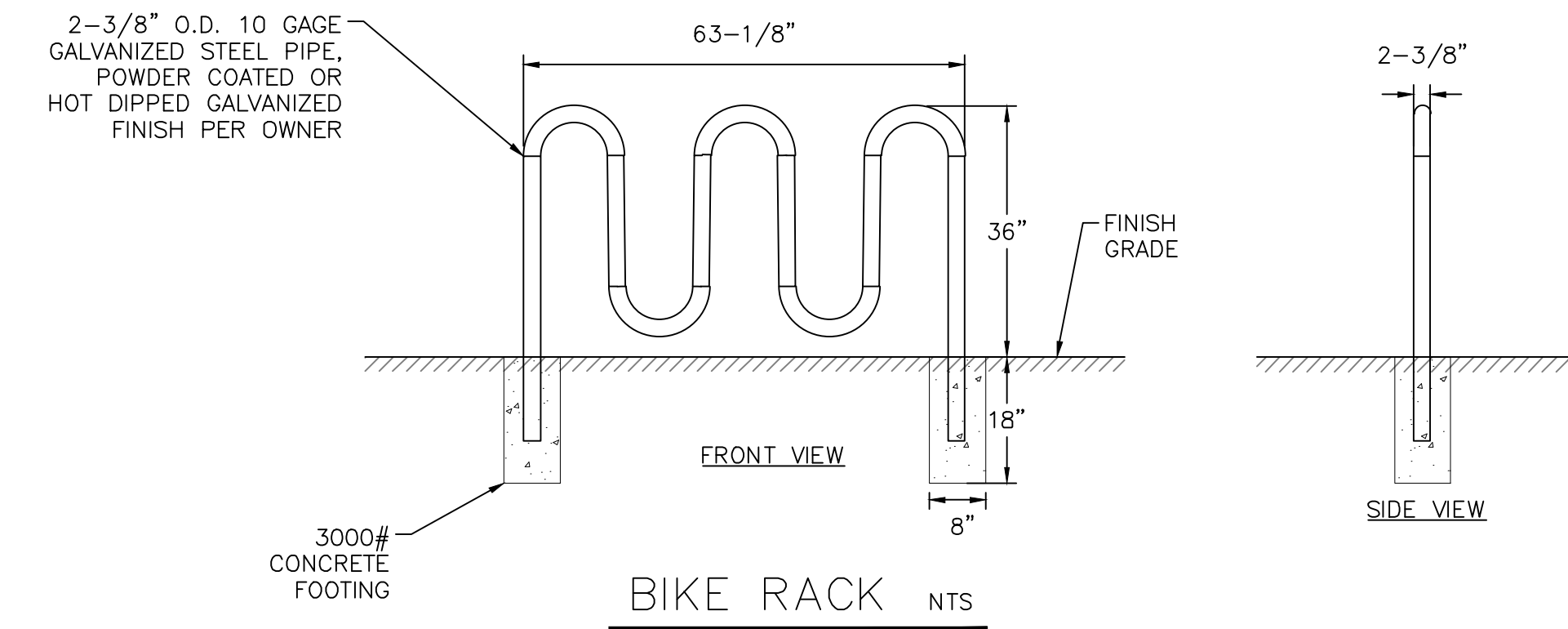
**COMPOST FILTER SOCK** NTS

**NOTE:**

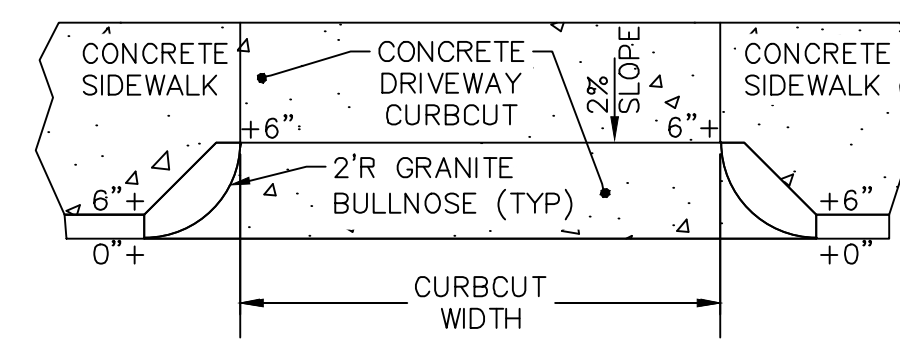
- 1) PROVIDE A 3' TO 6' LEVEL AREA BETWEEN THE SILT SOCK AND THE TOE OF ANY SLOPE TO PROVIDE AREA FOR SEDIMENT ACCUMULATION.



**STABILIZED CONSTRUCTION ENTRANCE** NTS



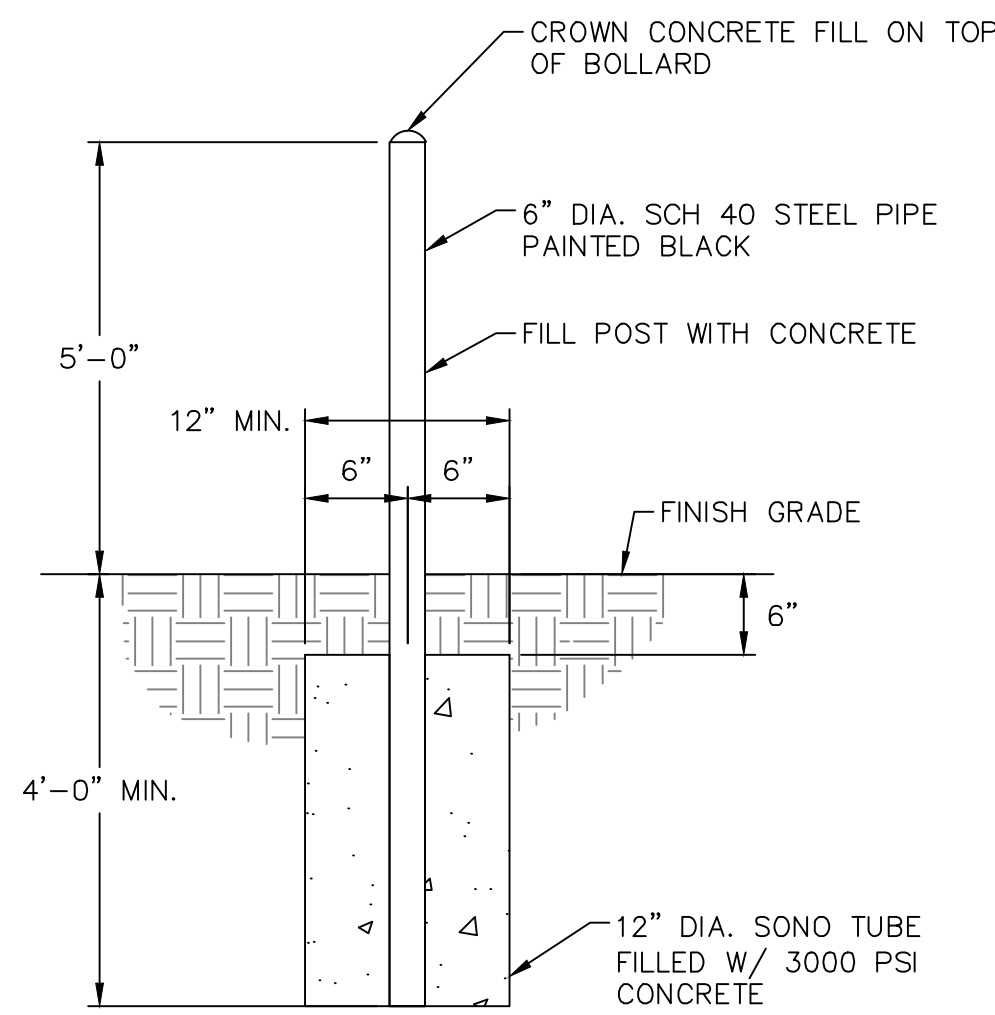
**BIKE RACK** NTS



**WORCESTER STANDARD CURB CUT** NTS

**NOTES:**

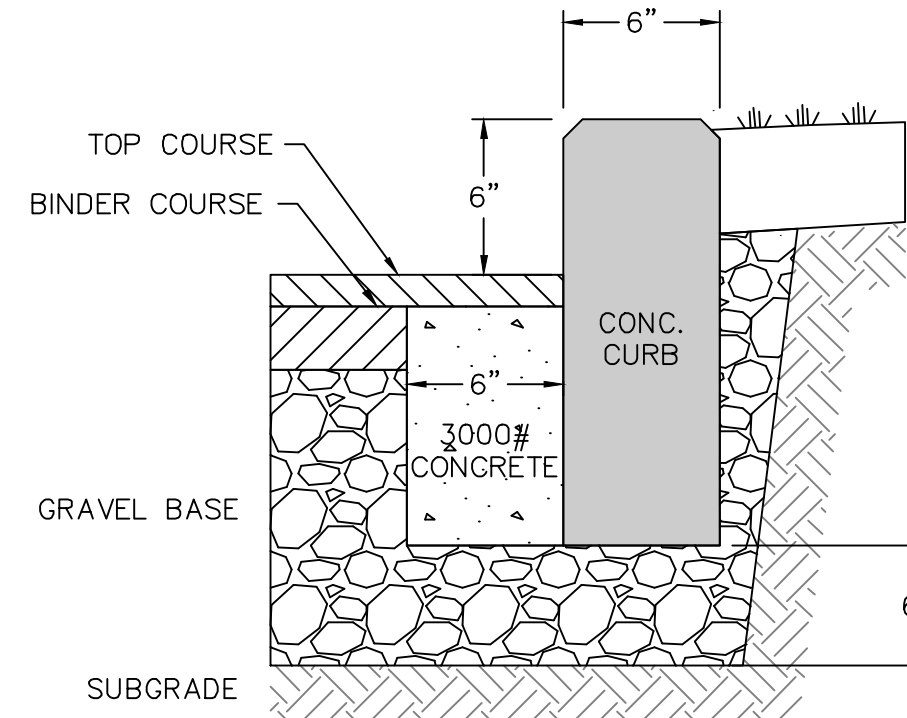
- 1) CONCRETE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONCRETE WALK DETAIL ON THESE PLANS (6\"/>



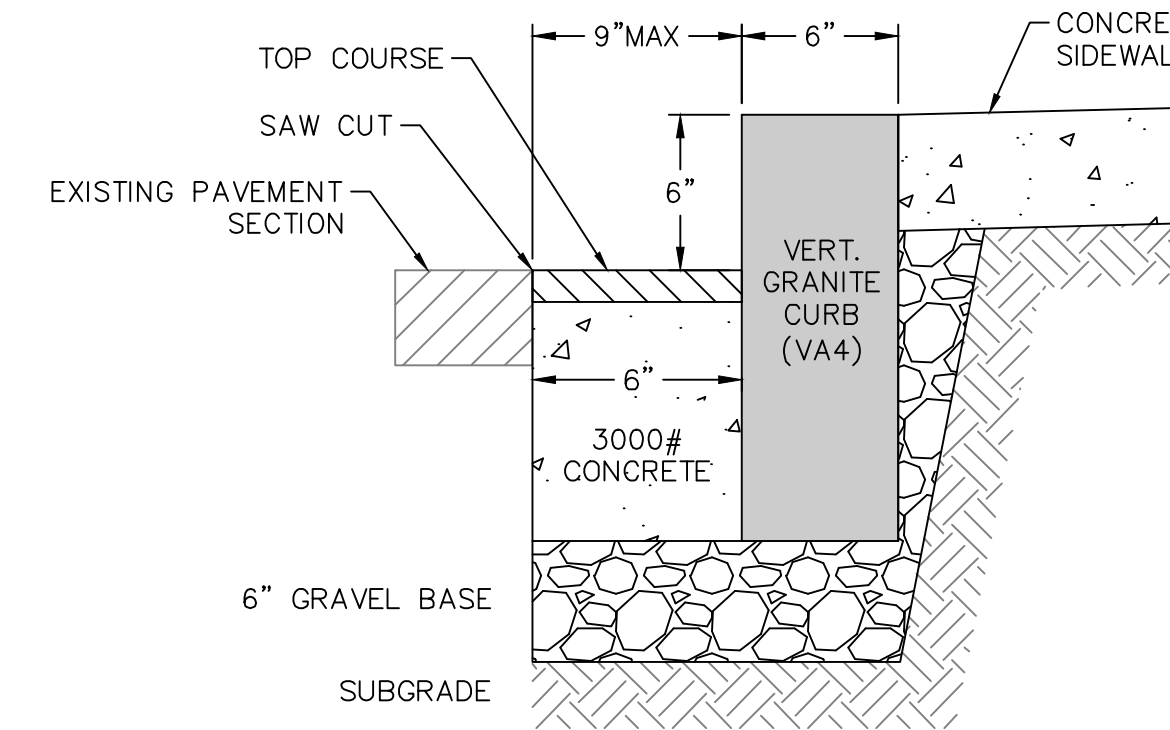
**BOLLARD** NTS

**NOTE:**

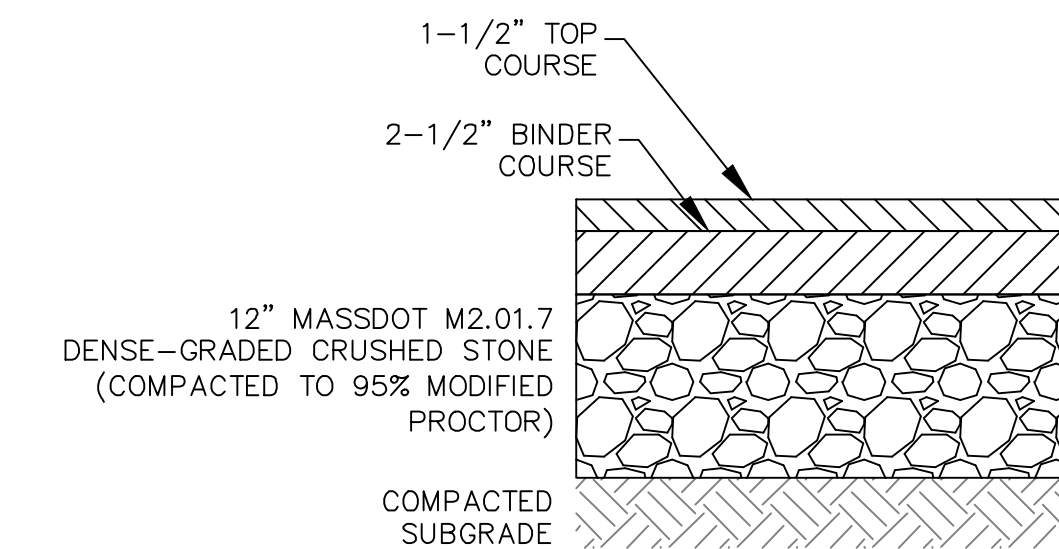
- 1) THIS DETAIL APPLIES TO BOLLARD INSTALLED AROUND THE PROPOSED TRANSFORMER AND COMPLIES WITH NGRID SPECIFICATIONS.



**PRECAST CONCRETE CURB** NTS



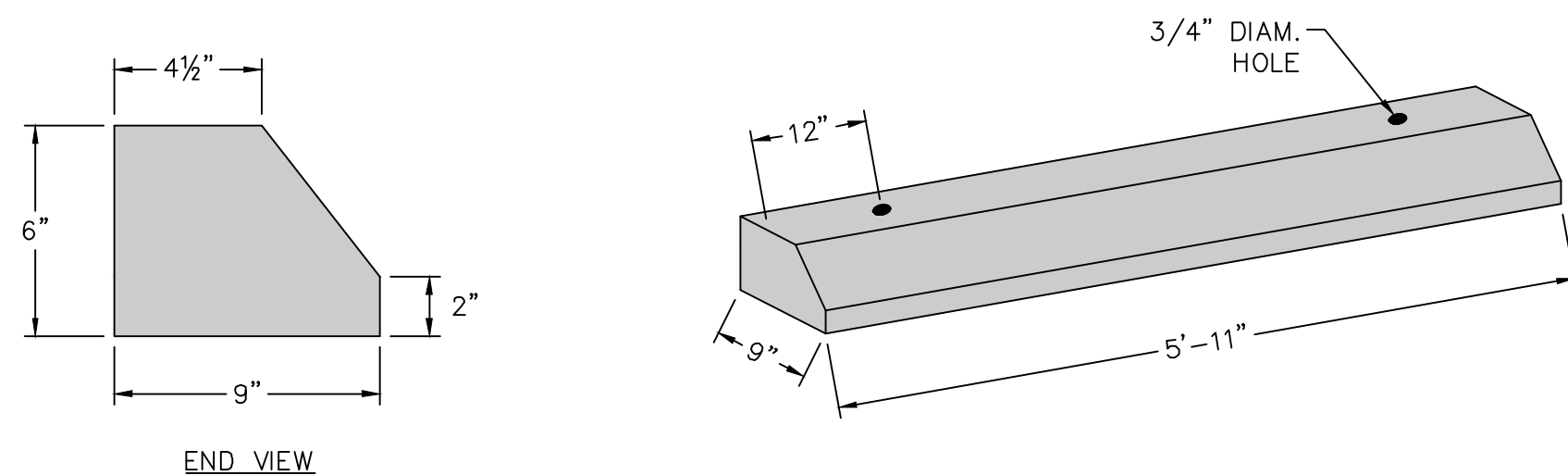
**VERTICAL GRANITE CURB ALONG EXISTING ROADWAY** NTS



**PAVEMENT SECTION** NTS

**NOTES:**

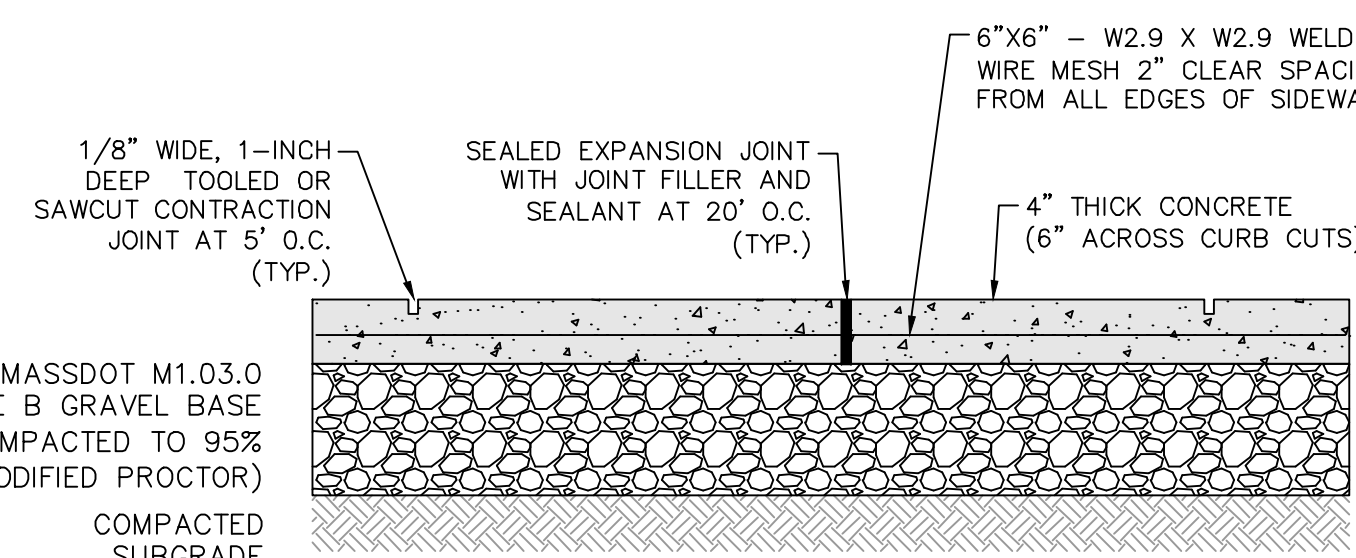
- 1) TAMP ALL ASPHALT EDGES THAT ABUT LAWN, LANDSCAPED OR OTHER SOFT SURFACE.
- 2) BINDER COURSE: - MASSDOT M3.11.03, TABLE A, "HMA INTERMEDIATE COURSE DENSE BINDER" OR SUPERPAVE INTERMEDIATE COURSE - 19.0MM (MIXTURE DESIGNATION SIC - 19.0).
- 3) TOP COURSE: - MASSDOT M3.11.03, TABLE A, "SURFACE COURSE STANDARD TOP" OR SUPERPAVE SURFACE COURSE - 12.5MM (MIXTURE DESIGNATION SSC - 12.5).



**WHEEL STOP** NTS

**NOTES:**

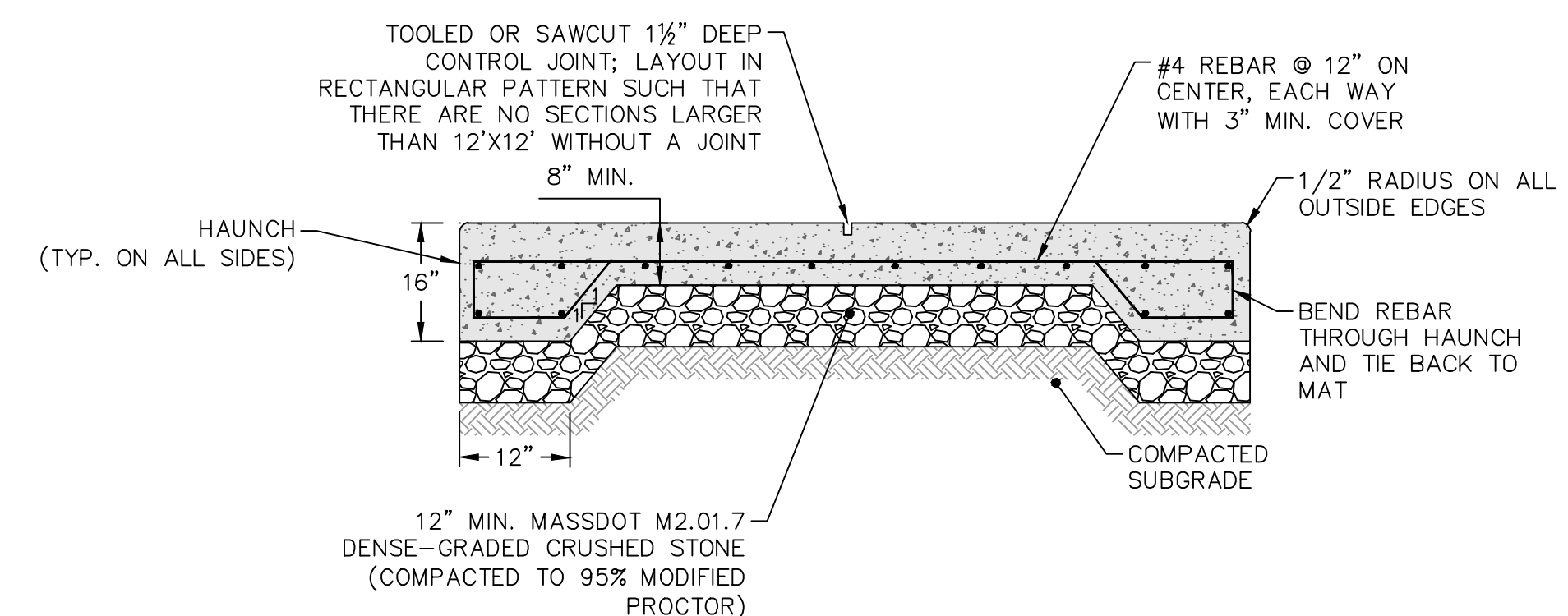
- 1) WHEEL STOPS SHALL BE CONSTRUCTED OF 4,000 PSI CONCRETE (28 DAYS) AND SECURED TO THE GROUND WITH STEEL PINS.
- 2) RUBBER OR OTHER MATERIAL WHEEL STOPS MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER.



**CONCRETE SIDEWALK** NTS

**NOTES:**

- 1) CONCRETE MIX DESIGN SHALL BE FOR EXTERIOR USE; AIR-ENTRAINED, 4,000 PSI MIN. (28-DAY), 3/4\"/>
- 2) WHEN THE WALKWAY ABUTS A STRUCTURE OR EXISTING HARD SURFACE (CONCRETE, ETC.), INSTALL AN EXPANSION JOINT ACROSS THE ENTIRETY OF THE ABUTTING FACE WITH PREFORMED FIBER JOINT FILLER AND FILL WITH 1\"/>
- 3) WALKWAYS SHALL HAVE A LIGHT BROOM FINISH PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC. THERE SHALL BE NO SMOOTHED TOOL JOINTS; BROOM FINISH SHALL EXTEND TO THE EDGES OF THE PAD AND ACROSS ANY JOINTS.



**CONCRETE PAD-HEAVY DUTY** NTS

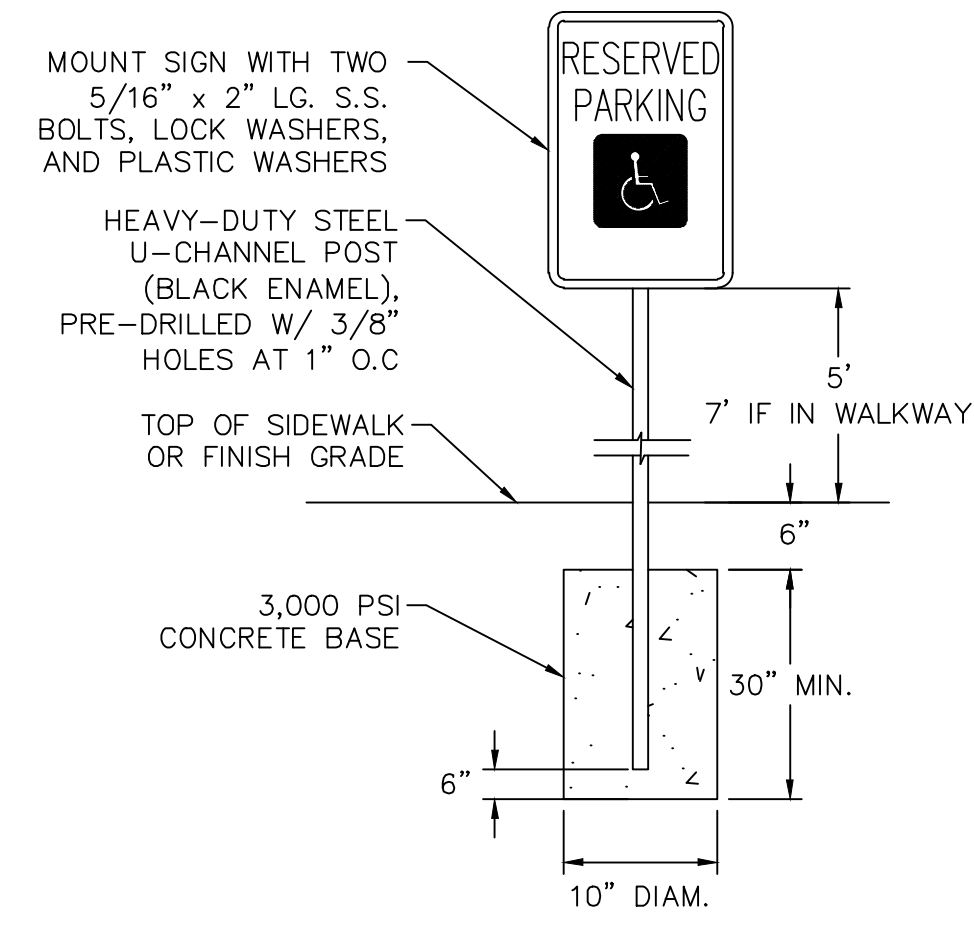
**NOTES:**

THIS DETAIL APPLIES TO THE PROPOSED DUMPSTER PAD.

- 1) CONCRETE MIX DESIGN SHALL BE FOR EXTERIOR USE; AIR-ENTRAINED, 4,000 PSI MIN. (28-DAY), 3/4\"/>
- 2) OMIT THE HAUNCH WHEN ABUTTING ANOTHER HARD SURFACE SUCH AS EXISTING CONCRETE (BITUMINOUS IS NOT A HARD SURFACE).
- 3) WHEN THE PAD ABUTS A STRUCTURE OR EXISTING HARD SURFACE (CONCRETE, ETC.), INSTALL AN EXPANSION JOINT ACROSS THE ENTIRETY OF THE ABUTTING FACE WITH PREFORMED FIBER JOINT FILLER AND FILL WITH 1\"/>
- 4) PAD SHALL HAVE A MEDIUM BROOM FINISH. THERE SHALL BE NO SMOOTHED TOOL JOINTS; BROOM FINISH SHALL EXTEND TO THE EDGES OF THE PAD AND ACROSS ANY JOINTS.

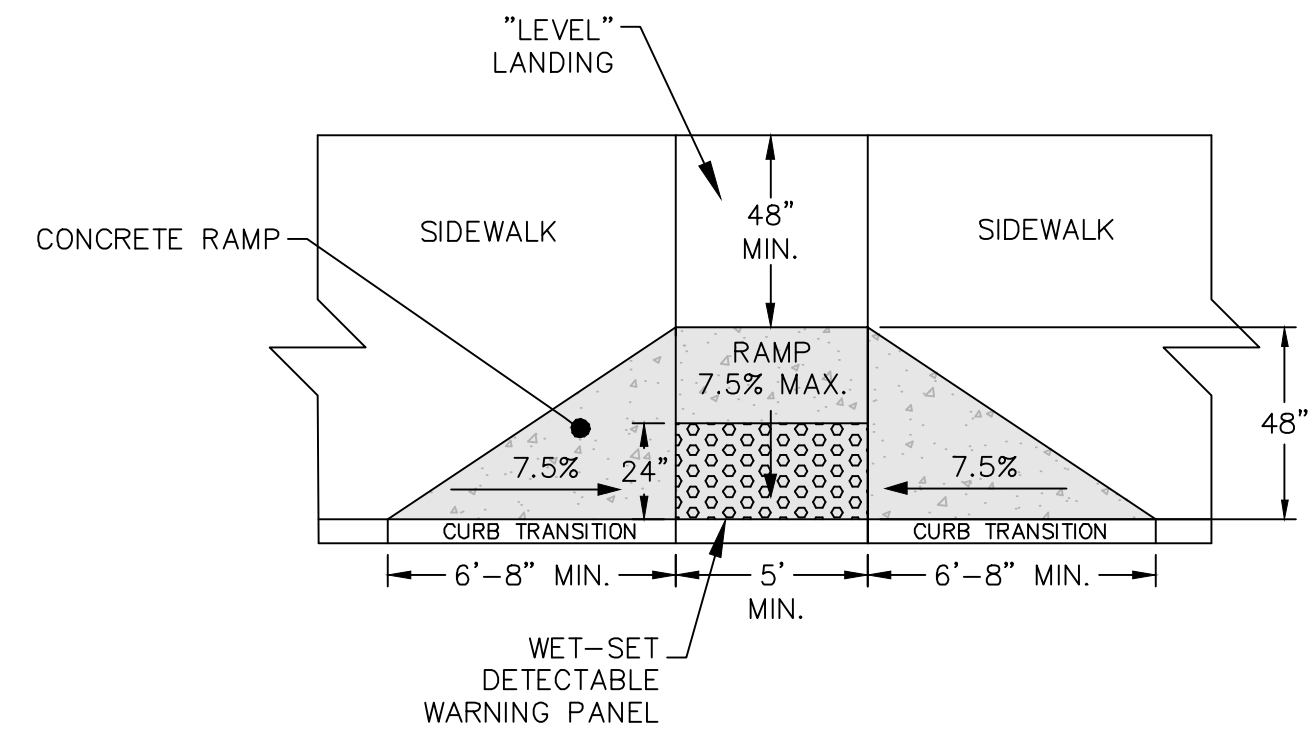
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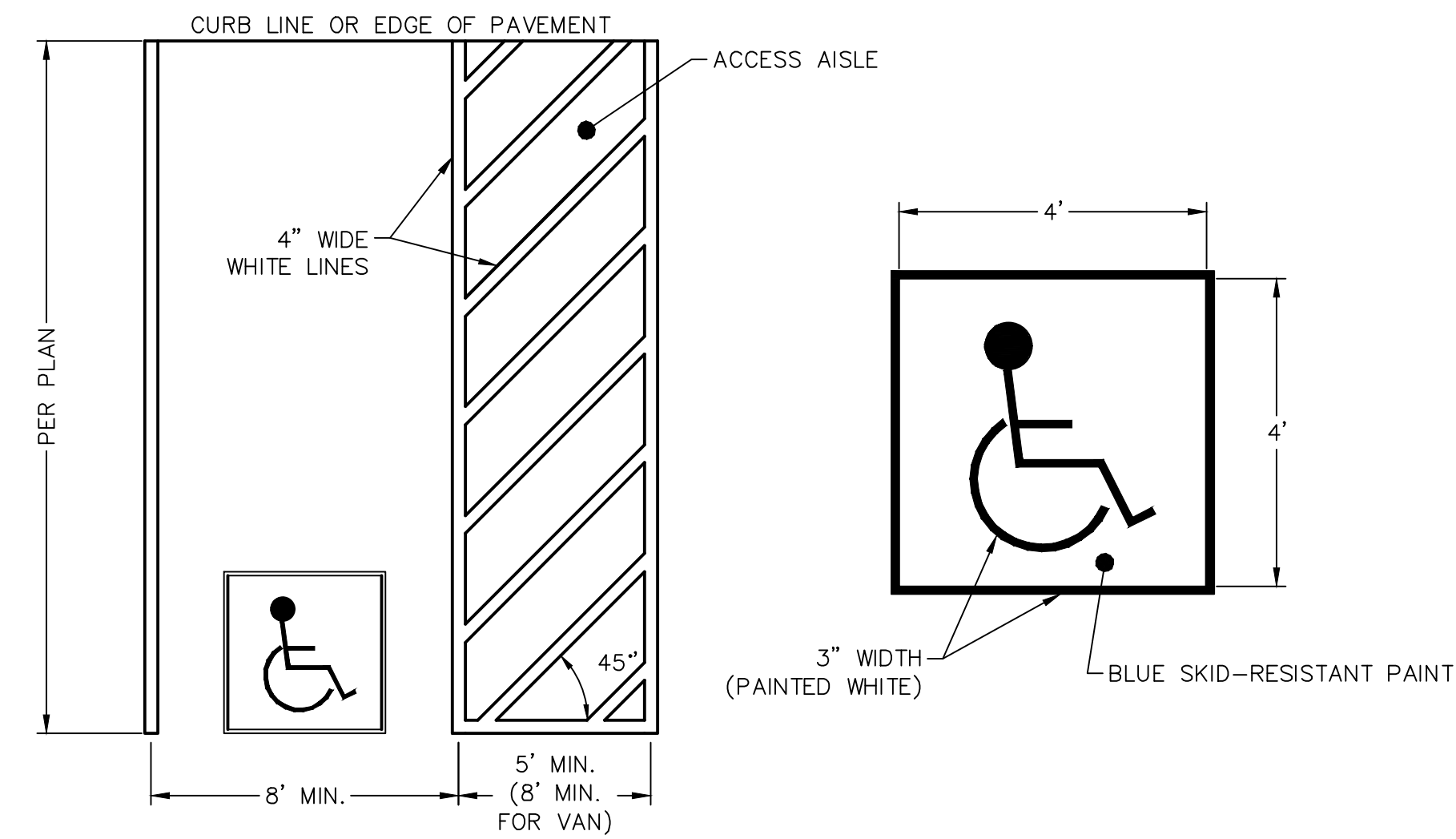
**SIGN** NTS

**NOTE:**  
1) THIS DETAIL APPLIES TO THE CONSTRUCTION OF ALL PROPOSED SIGNS; (SIGN TYPE AND DIMENSIONS MAY VARY FROM THOSE SHOWN). HANDICAP VAN ACCESSIBLE PLACARD SHALL BE MOUNTED DIRECTLY BELOW PRIMARY SIGN.



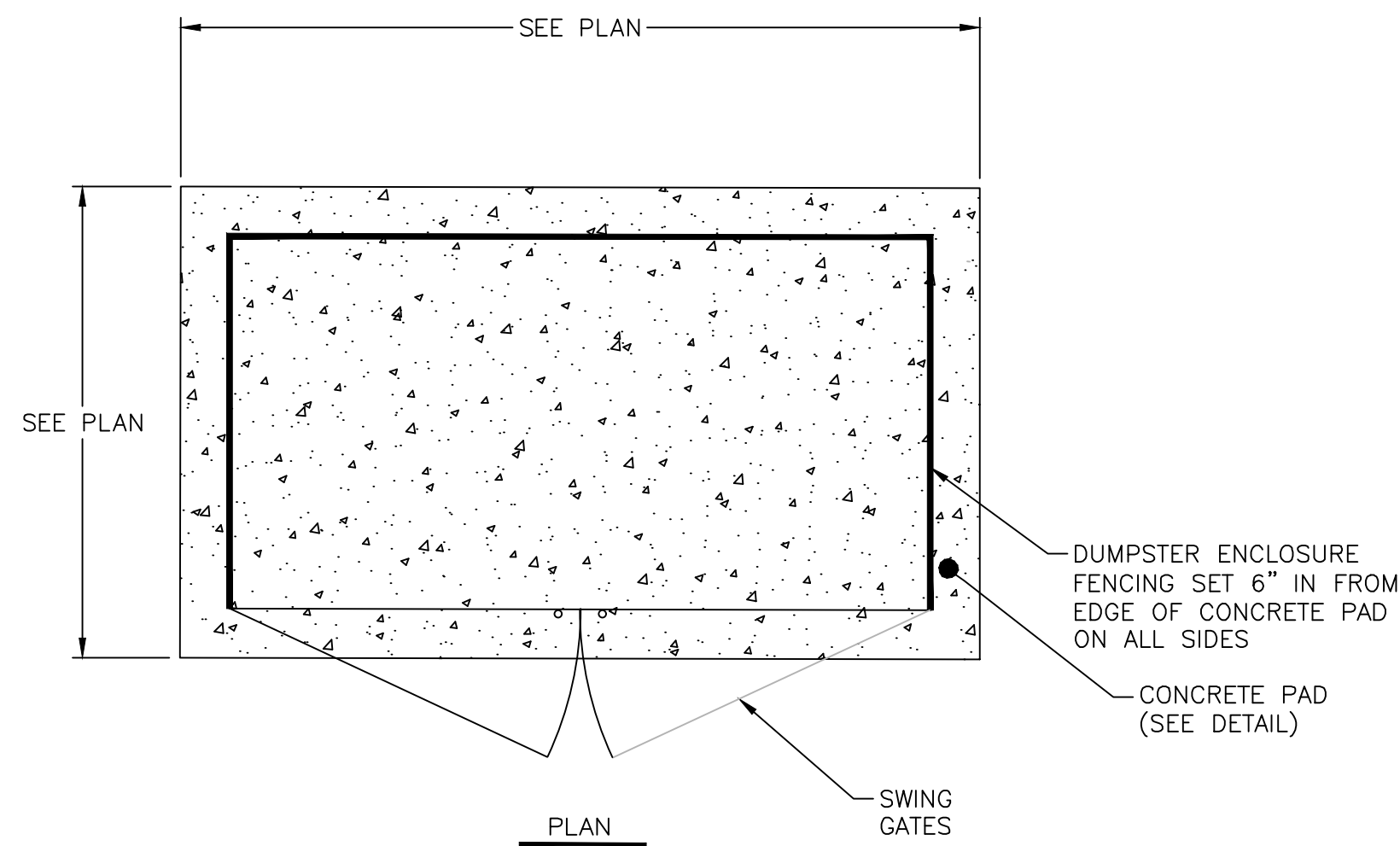
**CONCRETE CURB CUT WHEELCHAIR RAMP** NTS

- NOTES:**
- 1) FOR SIDEWALKS PART OF AN ACCESSIBLE ROUTE, THE MAXIMUM ALLOWABLE RUNNING SLOPE SHALL BE 4.5% AND THE MAXIMUM ALLOWABLE CROSS SLOPE SHALL BE 1.5% (1.0% MIN.).
  - 2) "LEVEL LANDING" SHALL BE SLOPED NO MORE THAN 1.5% IN ANY DIRECTION (1.0% MIN. FOR CROSS SLOPE).
  - 3) A "LEVEL LANDING" 48" MIN. IN LENGTH MUST BE PROVIDED AT THE TOP OF EACH RAMP.

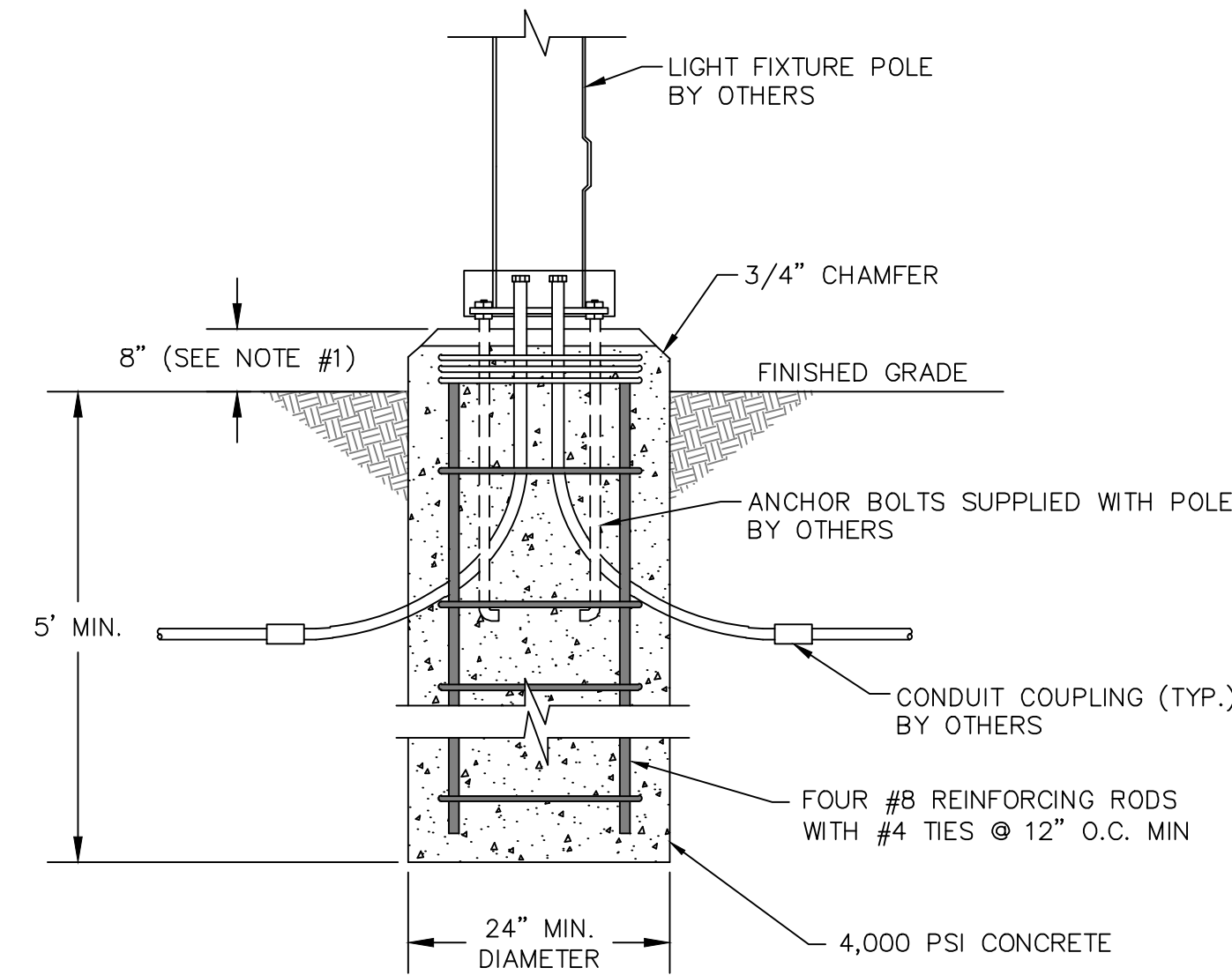


**HANDICAP PARKING SPACE** NTS

**NOTE:**  
1) PAVEMENT MARKINGS SHALL BE PAINTED WITH WHITE TRAFFIC PAINT CONFORMING TO SECTION M7.01.08 OF THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. LINE WIDTH SHALL BE 4 INCHES. HANDICAP SYMBOL MARKINGS SHALL COMPLY WITH 521 CMR WITH WHITE SYMBOL ON BLUE BACKGROUND.

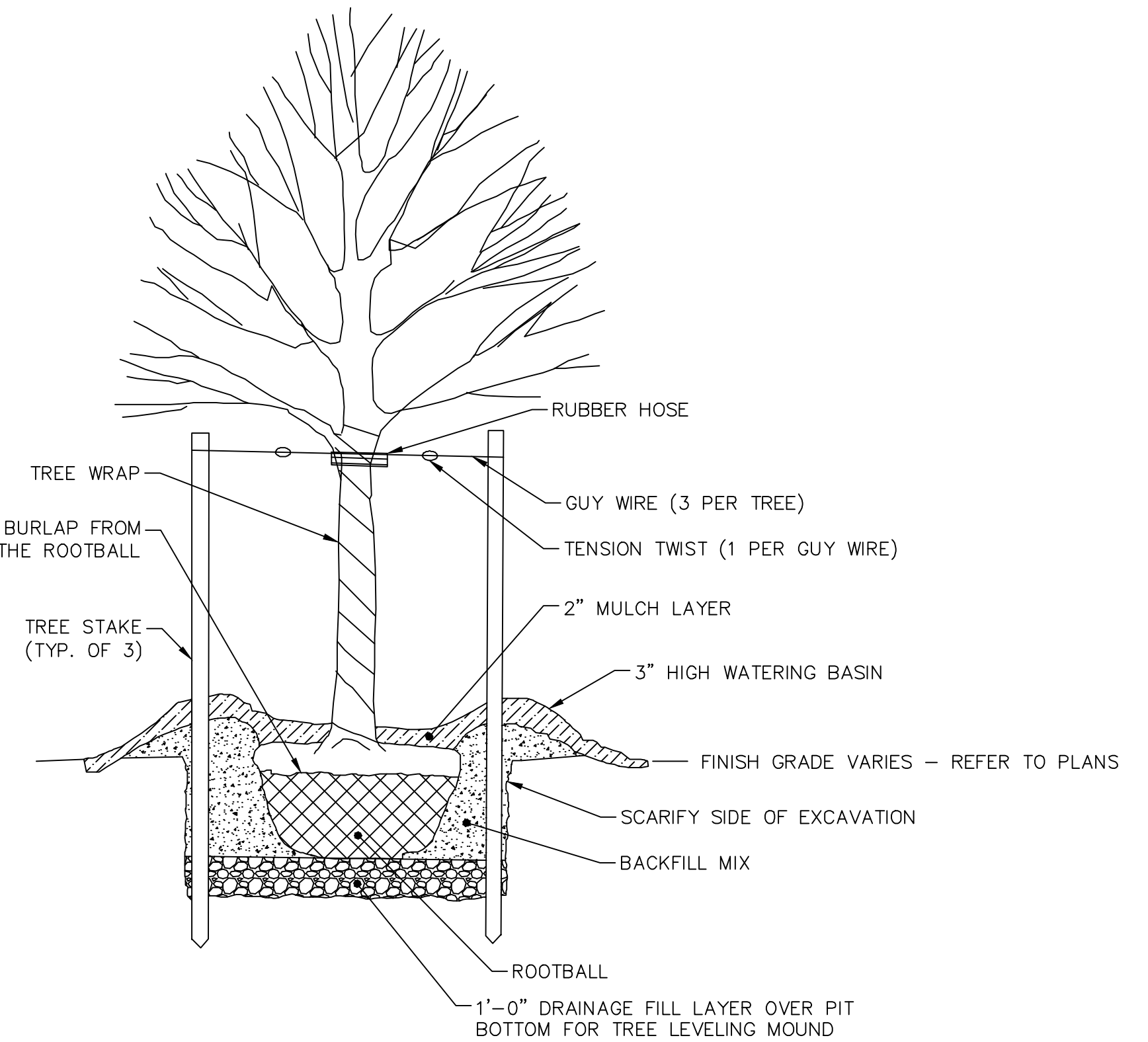


**PLAN**



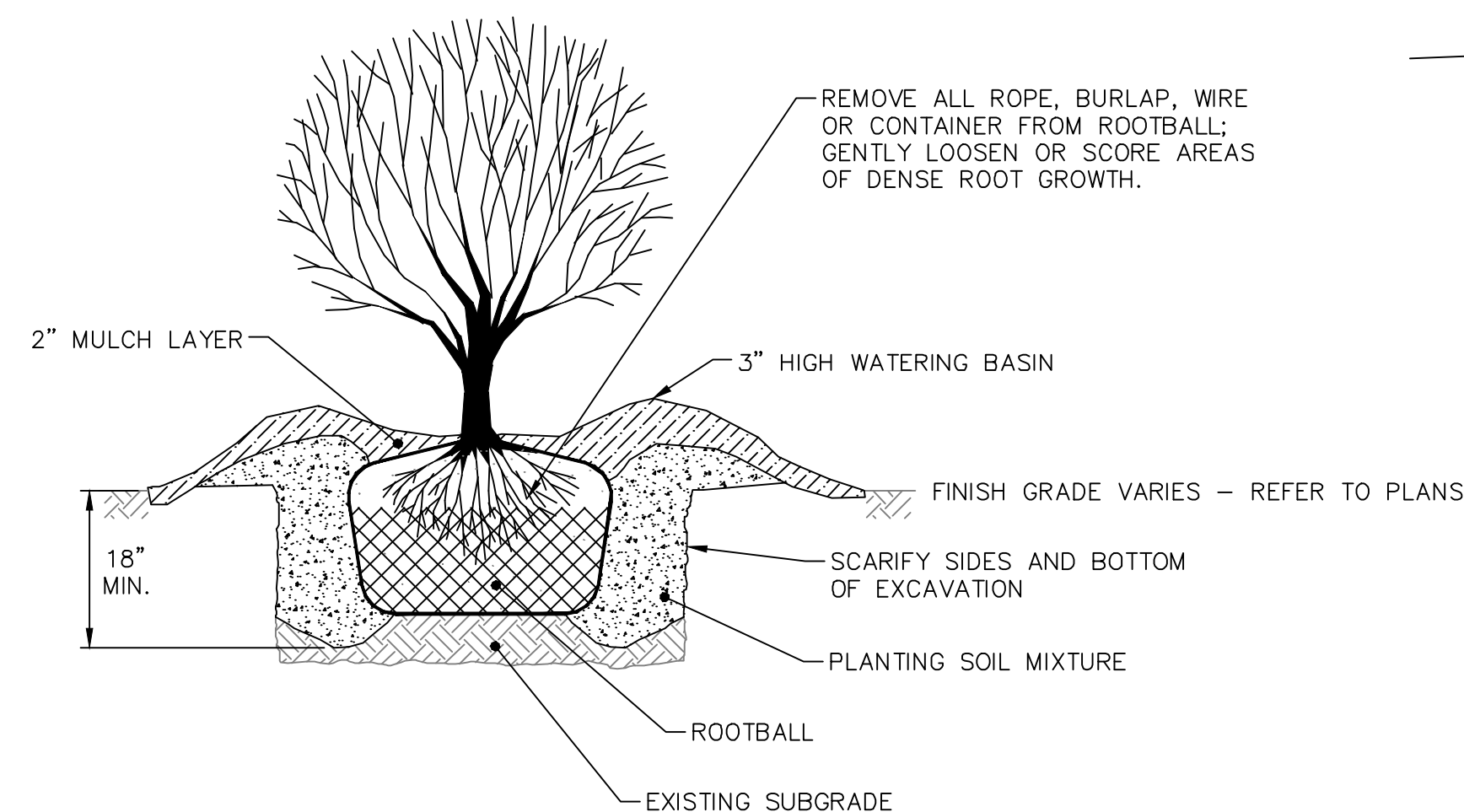
**LIGHT POLE BASE** NTS

- NOTES:**
- 1) INCREASE EXPOSED HEIGHT TO 30" IN AND ADJACENT TO VEHICULAR TRAFFIC AREAS.
  - 2) CONTRACTOR SHALL COORDINATE WITH ELECTRICAL PLANS AND CONTRACTOR FOR BOLTS AND BOLT PATTERN FOR LIGHT POLE ANCHOR BOLTS.



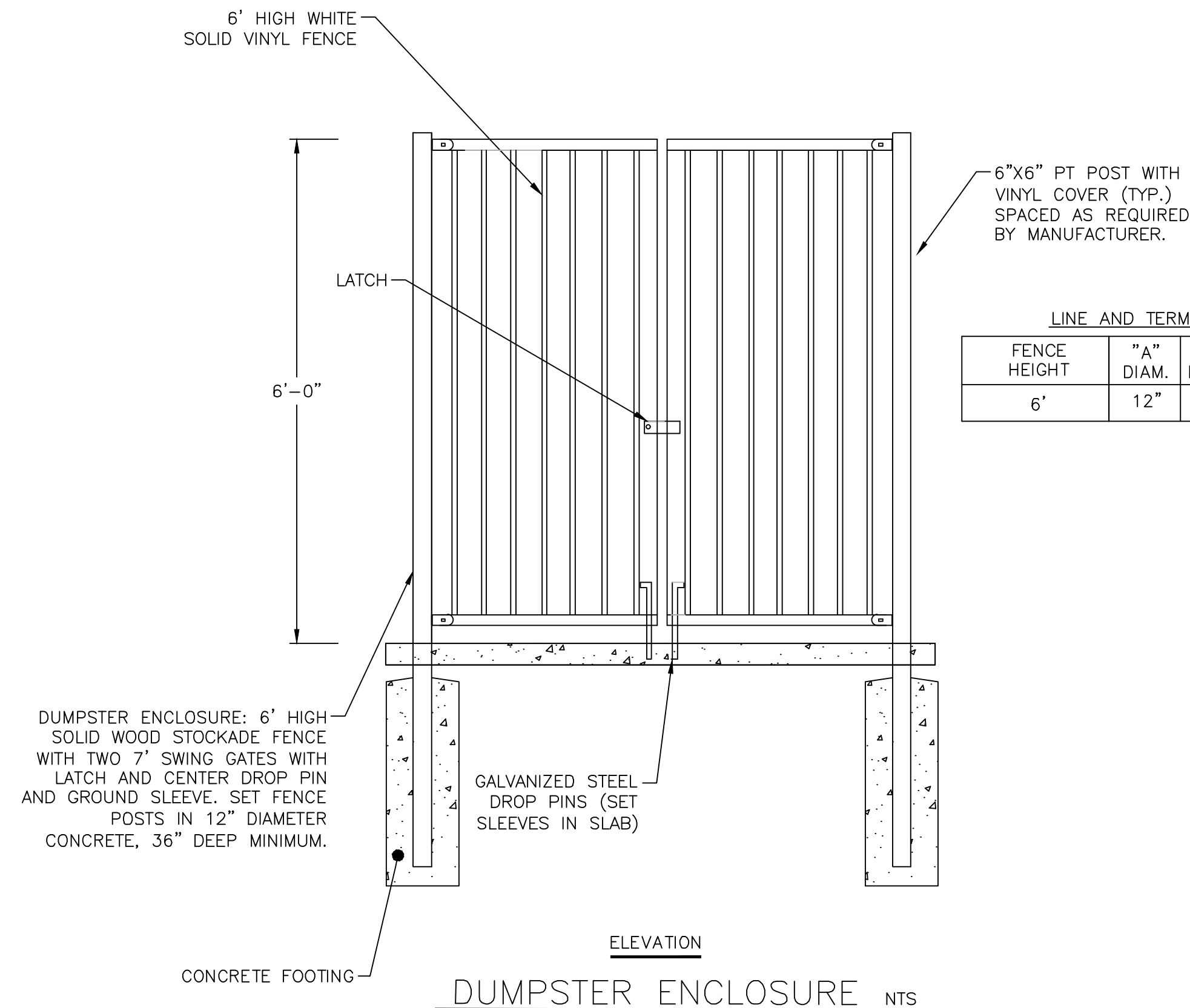
**TREE PLANTING** NTS

- NOTES:**
- 1) SET TREE ROOT CROWN 2" ABOVE FINISH GRADE.
  - 2) DO NOT PLACE SOIL OVER ROOTBALL.



**SHRUB PLANTING** NTS

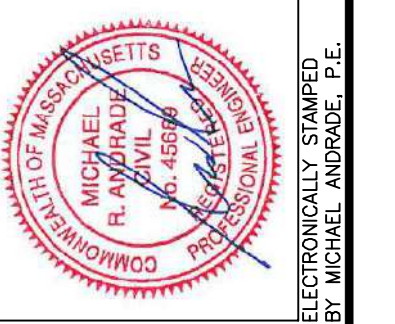
- NOTE:**  
1) SET SHRUB ROOT CROWN FLUSH TO 2" HIGHER THAN FINISH GRADE.



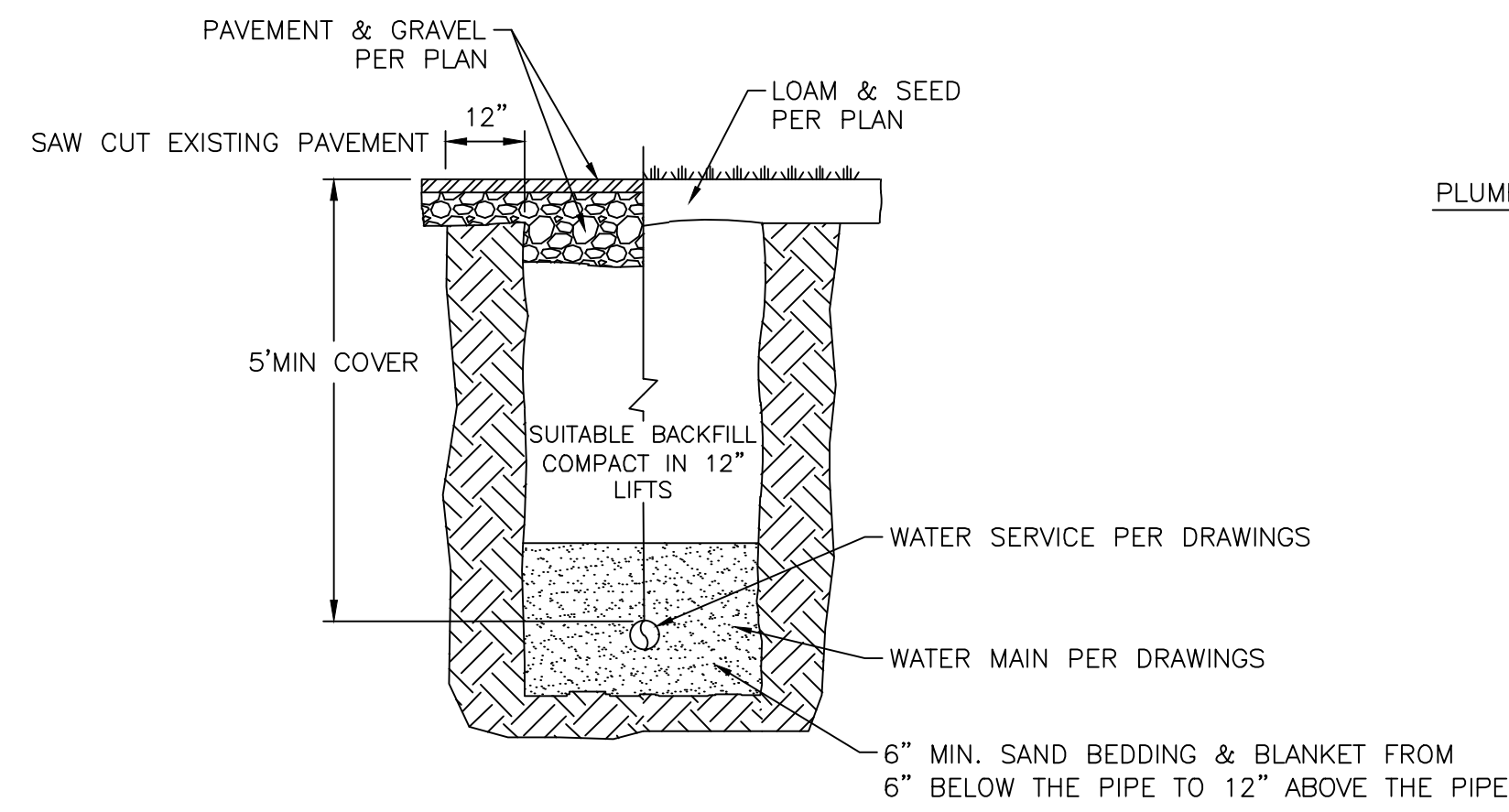
**DUMPSTER ENCLOSURE** NTS

LINE AND TERMINAL POSTS			
FENCE HEIGHT	"A" DIAM.	"B" DEPTH	"C" POST EMBEDMENT
6'	12"	48"	45"

NO.	DATE	BY	DESCRIPTION
1	03/25/24	DFS	ISSUED FOR PERMITTING

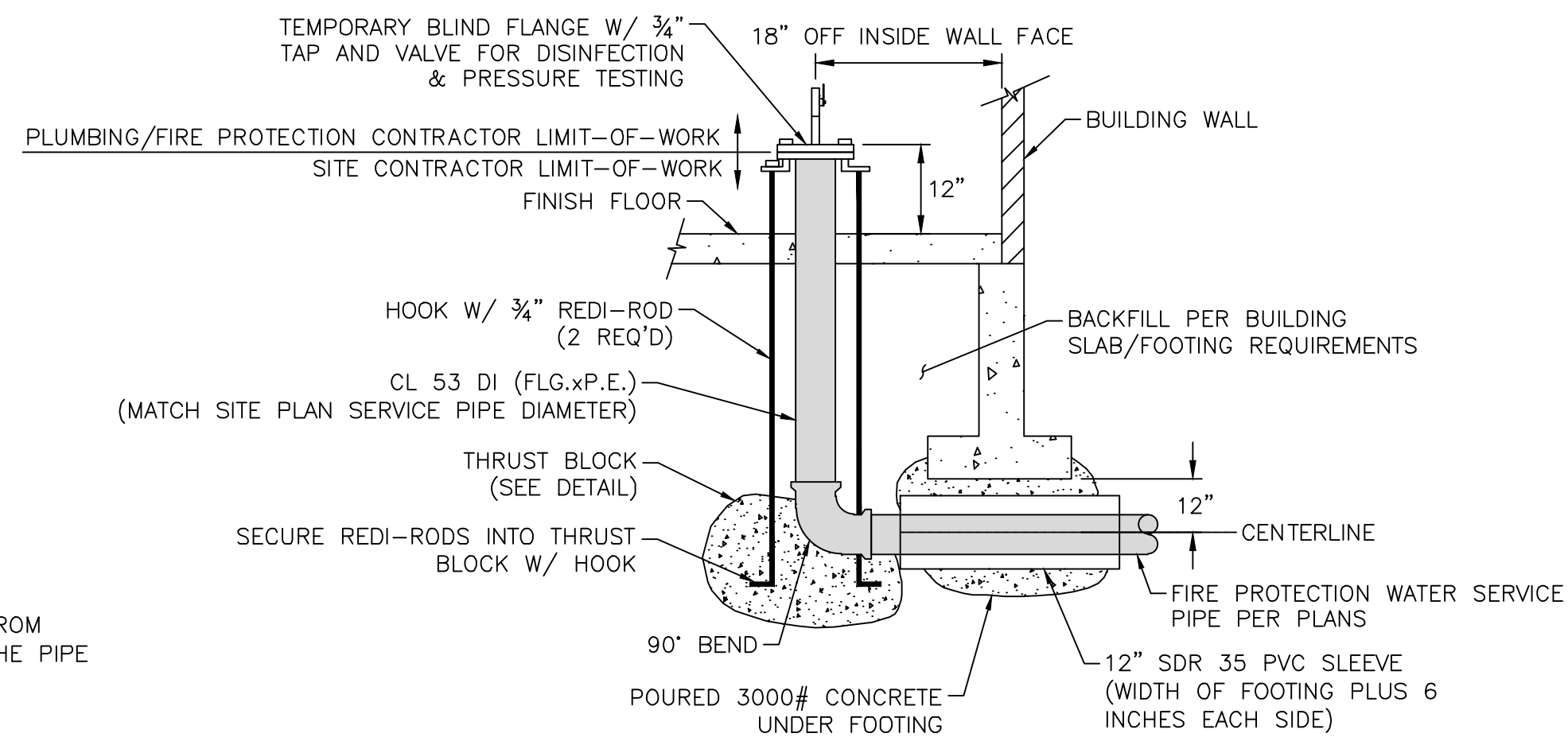




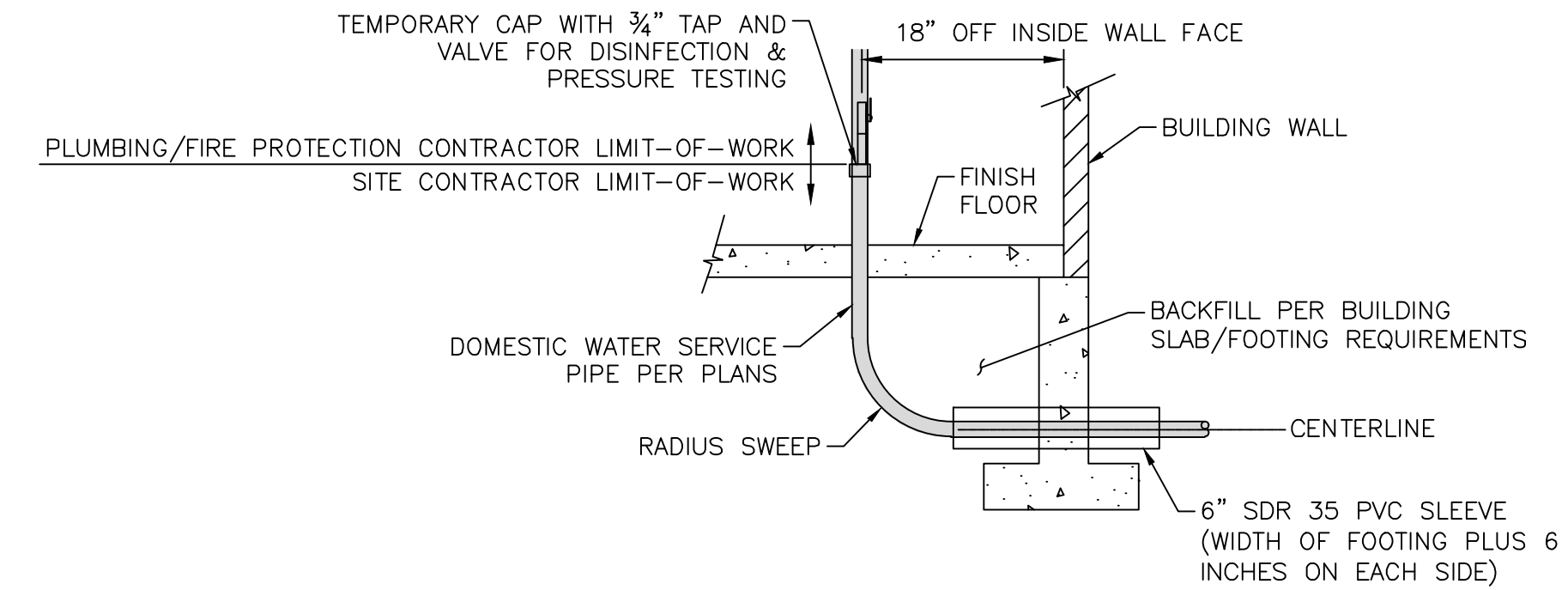


WATER SERVICE TRENCH SECTION NTS

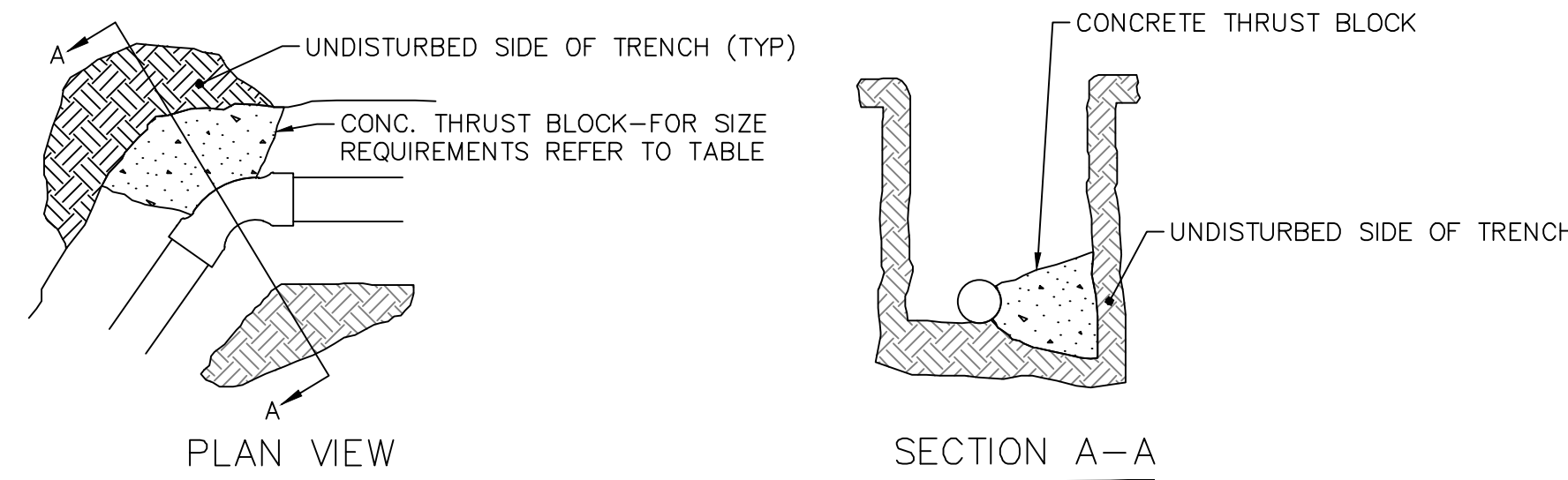
NOTE:  
1) SUITABLE BACKFILL SHALL BE AN AASHTO CLASS III SOIL, EITHER TRENCH SPOILS OR AN IMPORTED SAND AND GRAVEL WITH FINES AND COMPACTED TO 90% OF THE PROCTOR DENSITY.



FIRE PROTECTION WATER SERVICE RISER NTS



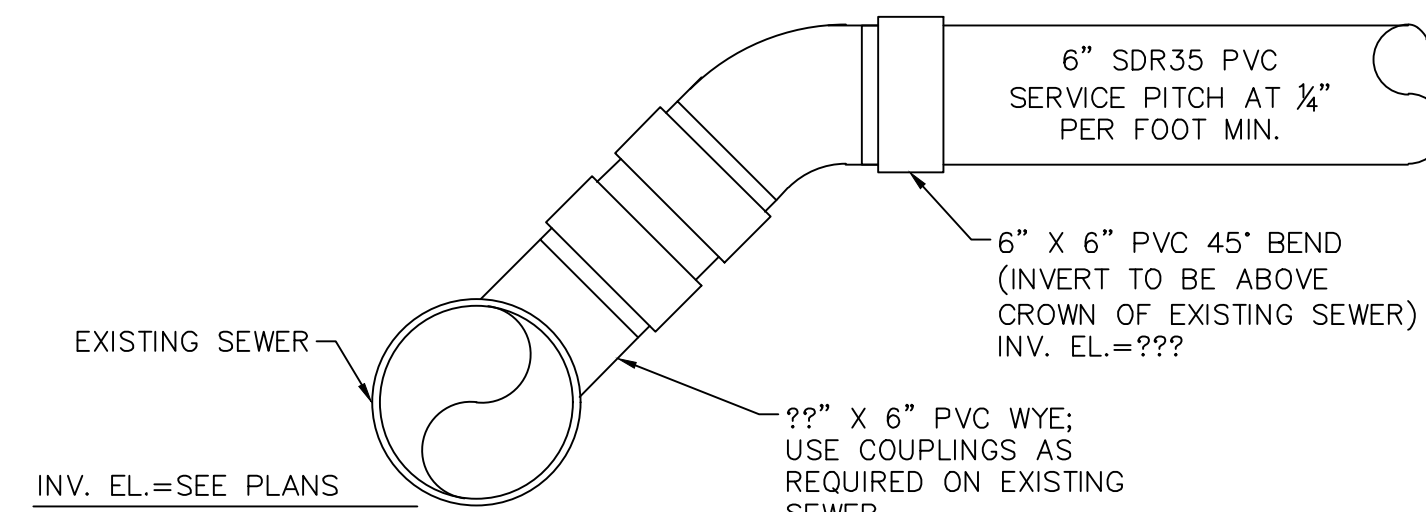
DOMESTIC WATER SERVICE RISER NTS



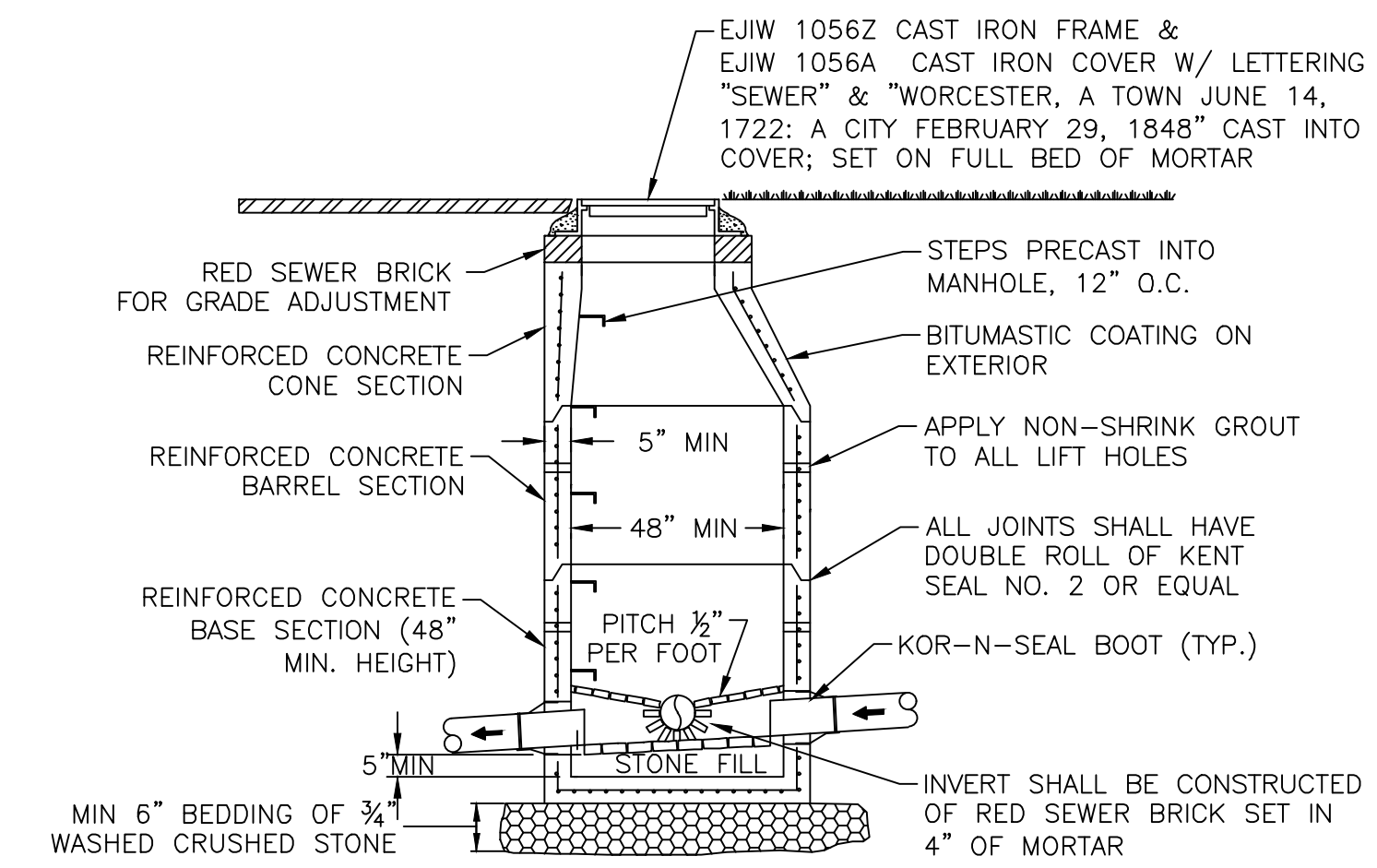
BEARING AREA AGAINST UNDISTURBED SOIL (SQ. FT.)						
PIPE SIZE	90 DEG. BEND	45 DEG. BEND	22.5 DEG. BEND	TEE or FLUG	HYDRANT	
1"-3"	0.7	0.7	0.7	0.7	N/A	
4"	2.0	2.0	2.0	2.0	N/A	
6"	4.0	4.0	4.0	4.0	N/A	
8"	7.0	4.0	4.0	5.0	N/A	
10"	11.0	6.0	4.0	7.0	N/A	
12"	14.0	8.0	4.0	10.0	N/A	

\* BASED UPON 150 PSI PRESSURE AND 2,000 LBS./SQ.FT. ALLOWABLE SOIL PRESSURE

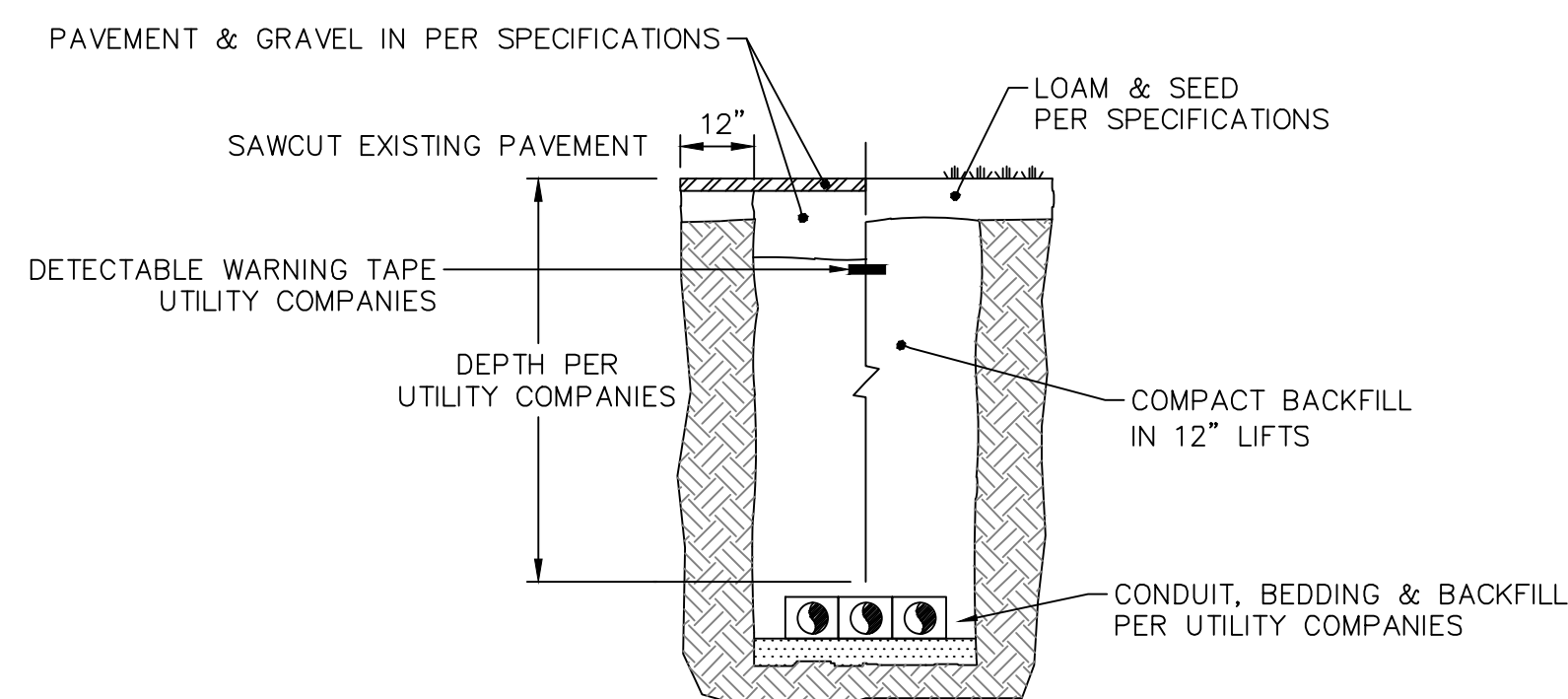
THRUST BLOCK DETAIL NTS



SEWER SERVICE CONNECTION DETAIL NTS

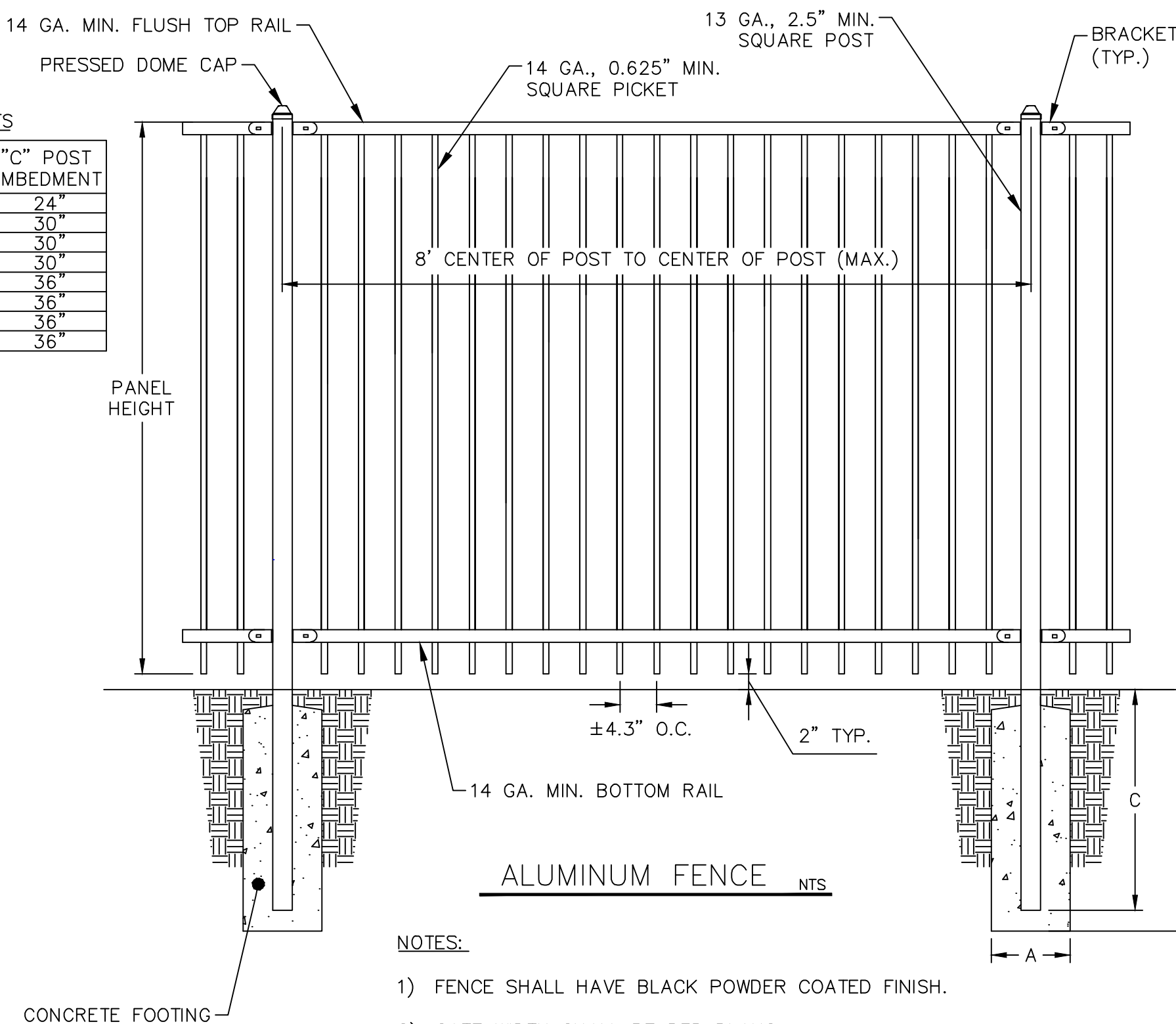


SEWER MANHOLE NTS

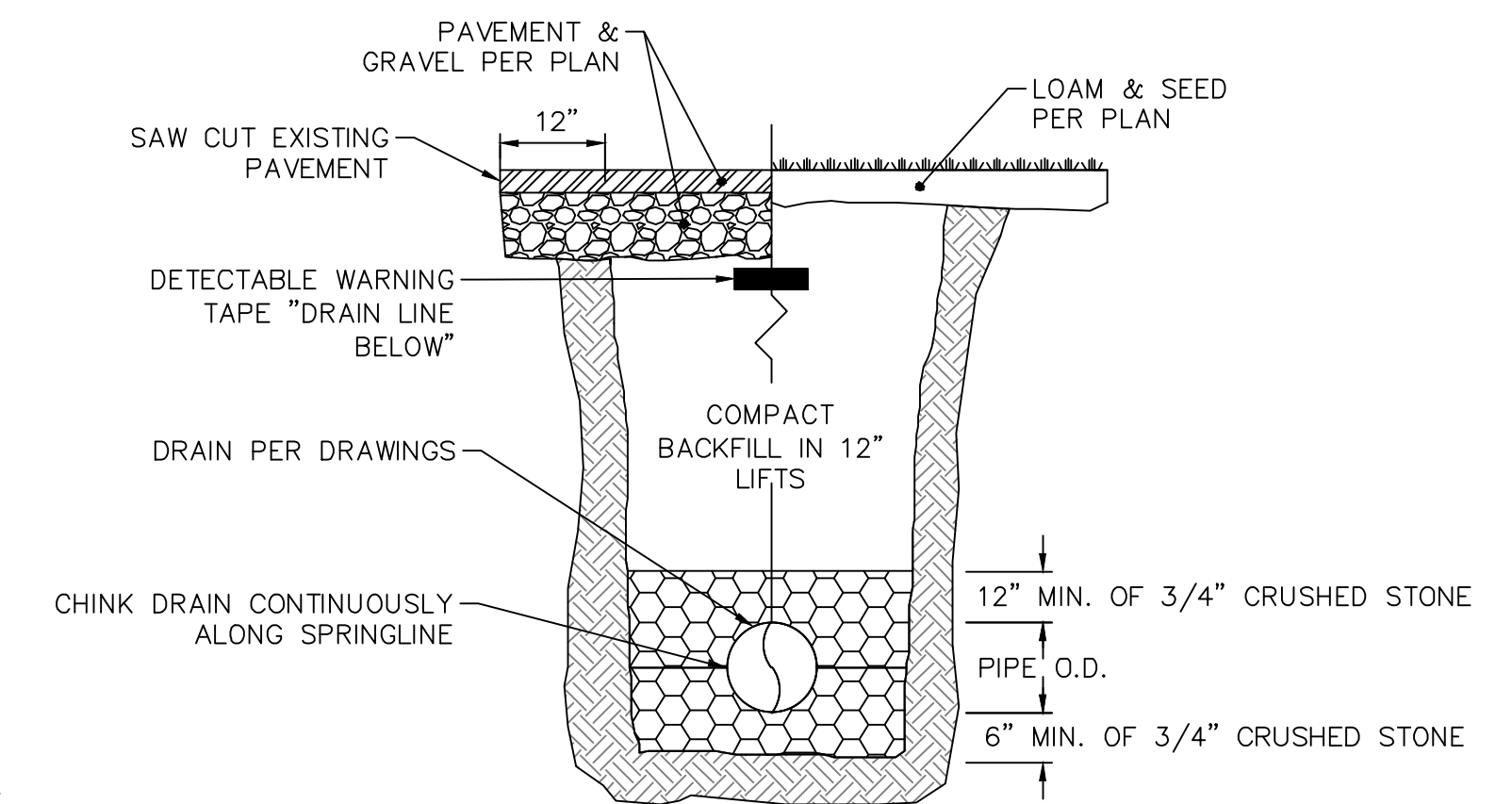


ELECTRICAL, CABLE & TELEPHONE SERVICE TRENCH SECTION NTS

LINE AND TERMINAL POSTS				
PANEL HEIGHT	TYPE POST	"A" DIAM.	"B" DEPTH	"C" POST EMBEDMENT
3'-4'	LINE	6"	26"	24"
	TERMINAL	10"	32"	30"
5'	LINE	8"	32"	30"
	TERMINAL	10"	32"	30"
6'-9'	LINE	12"	38"	36"
	TERMINAL	12"	38"	36"
10'-12'	LINE	18"	38"	36"
	TERMINAL	18"	38"	36"



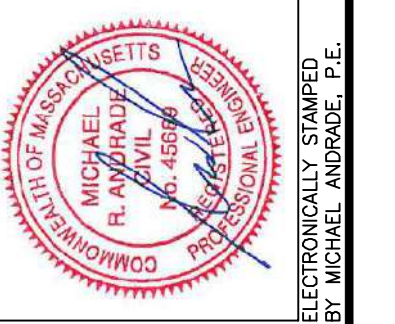
NOTES:  
1) FENCE SHALL HAVE BLACK POWDER COATED FINISH.  
2) GATE WIDTH SHALL BE PER PLANS.  
3) GATE POSTS SHALL BE 8 GA., 4.0" SQUARE POSTS.



HDPE/PVC DRAIN TRENCH SECTION NTS

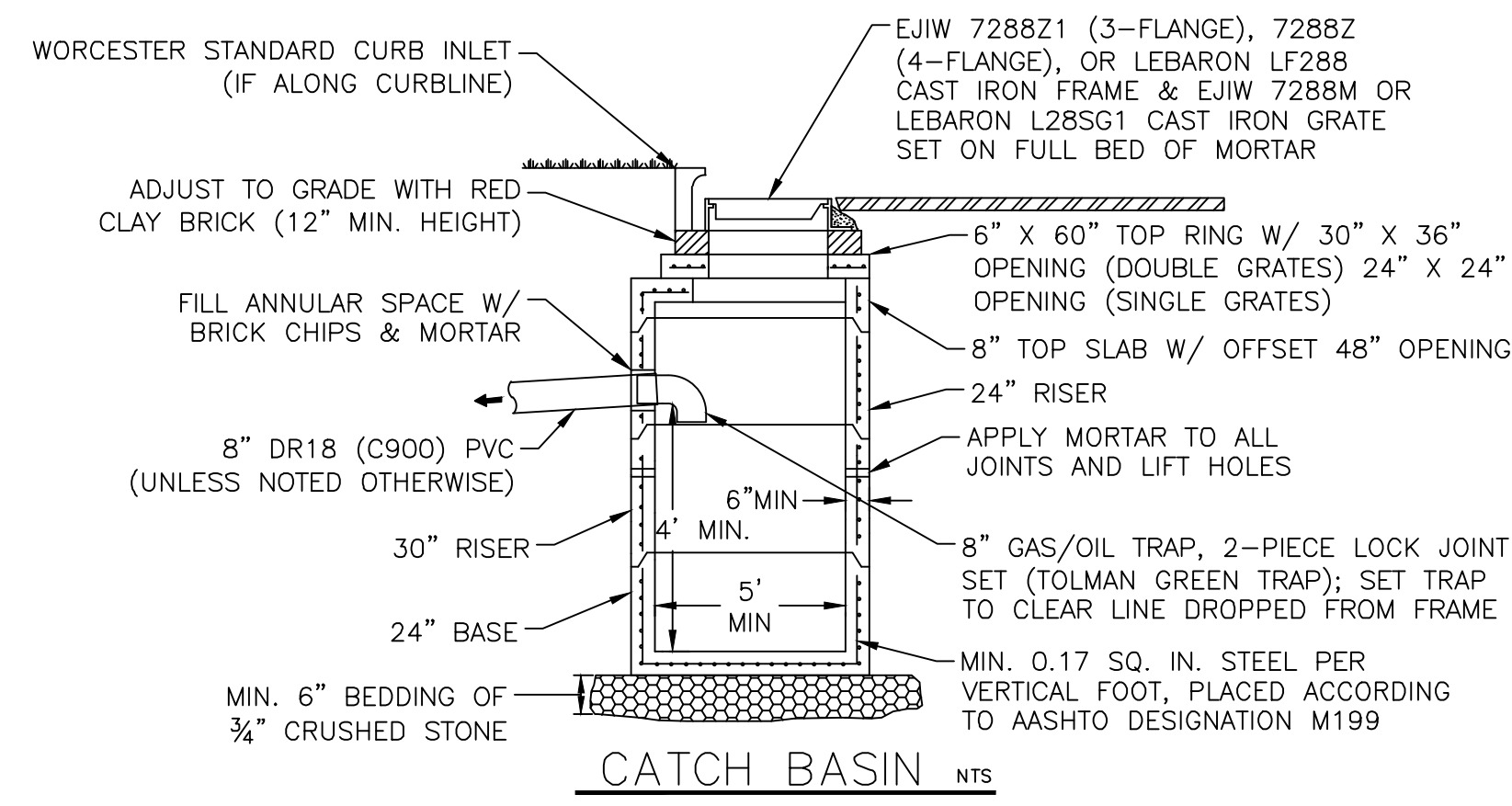
NOTES:  
1) BACKFILL SHALL BE AN AASHTO CLASS III SOIL; EITHER TRENCH SPOILS OR AN IMPORTED SAND AND GRAVEL WITH FINES AND COMPACTED TO 90% OF THE PROCTOR DENSITY.  
2) BACKFILL OF HDPE PIPE SHALL CONFORM TO ASTM D2321 AND/OR MANUFACTURER'S SPECIFICATIONS.

NO.	DATE	BY	DESCRIPTION	REVISIONS
1	03/25/24	DFS	ISSUED FOR PERMITTING	

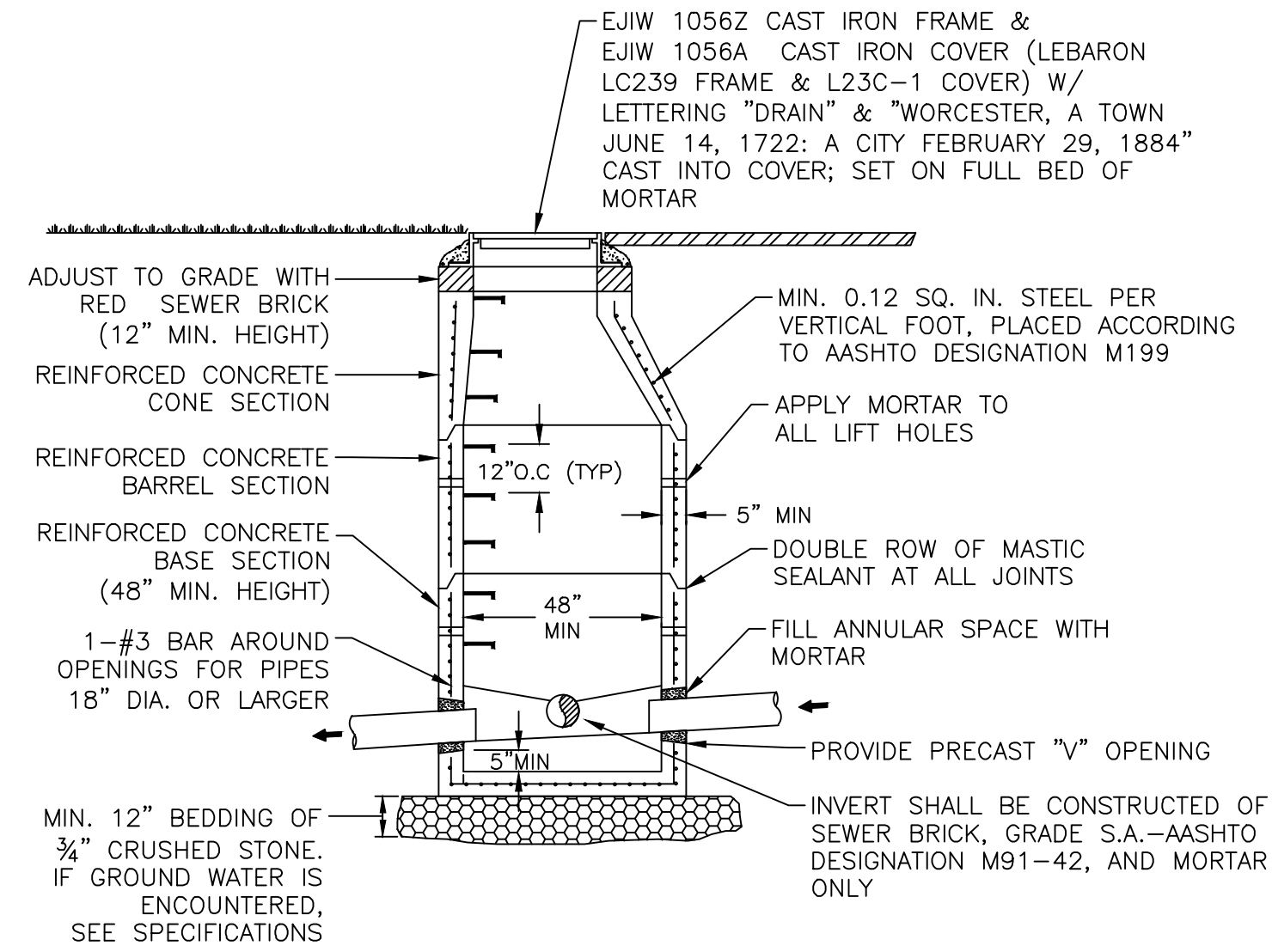


PREPARED FOR: OLSI G/INKO  
487 PARK AVENUE, WORCESTER, MA 01603

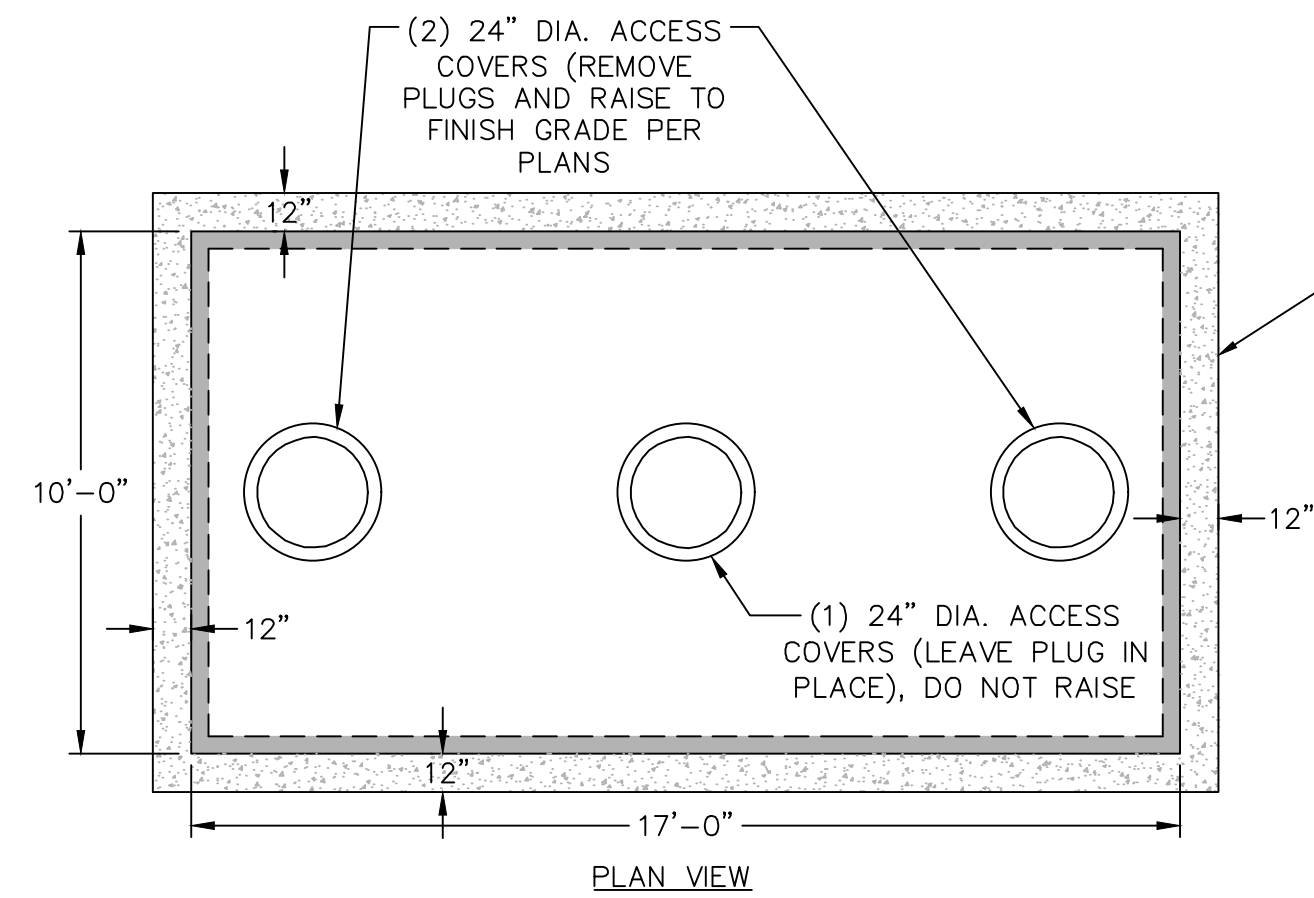
DATE: 03/25/24 SCALE: 1"=20'  
DES. BY: DFS  
DRW. BY: DFS  
CHK. BY: MRA  
PRJ. NO.: 23125



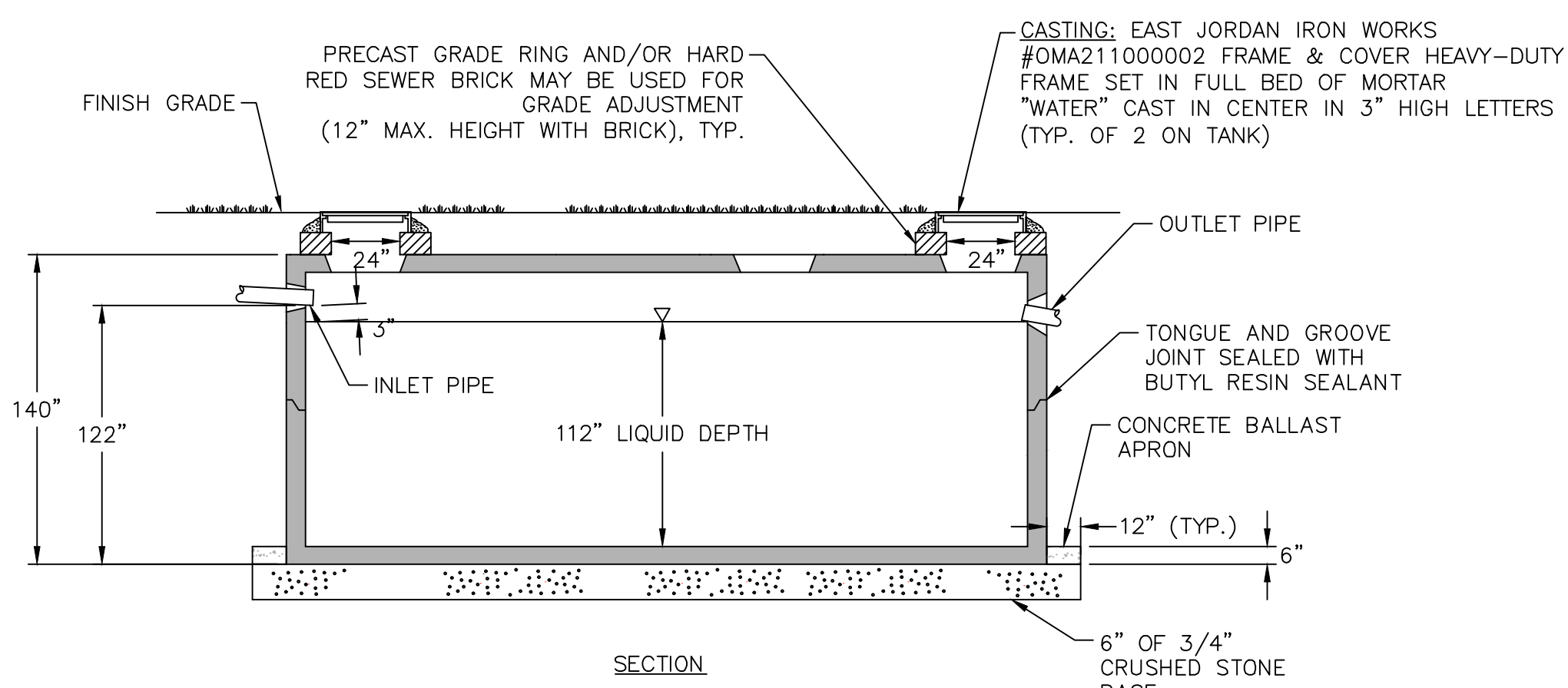
CATCH BASIN NTS



DRAIN MANHOLE NTS



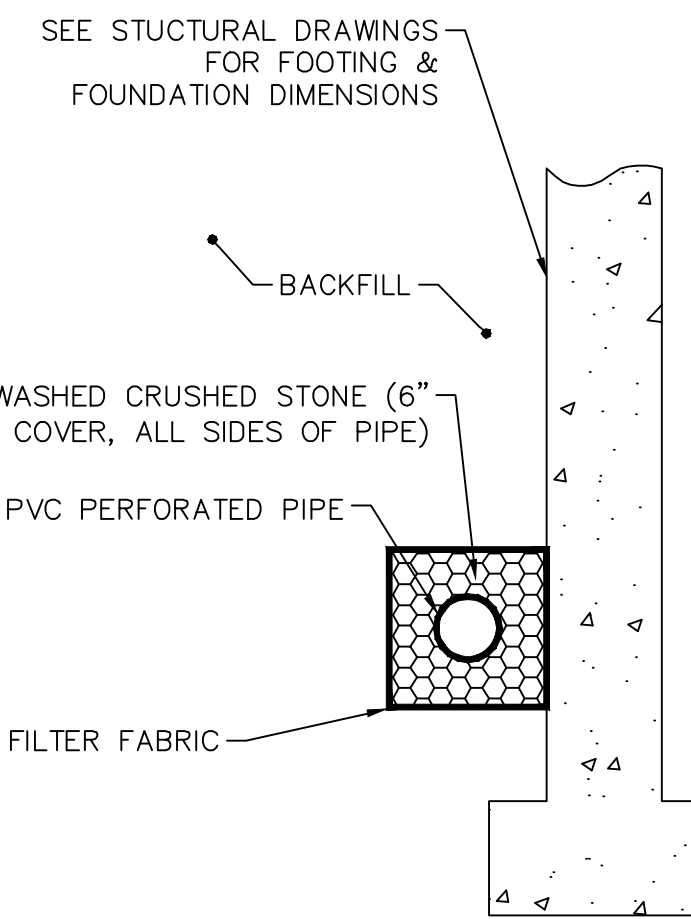
PLAN VIEW



SECTION

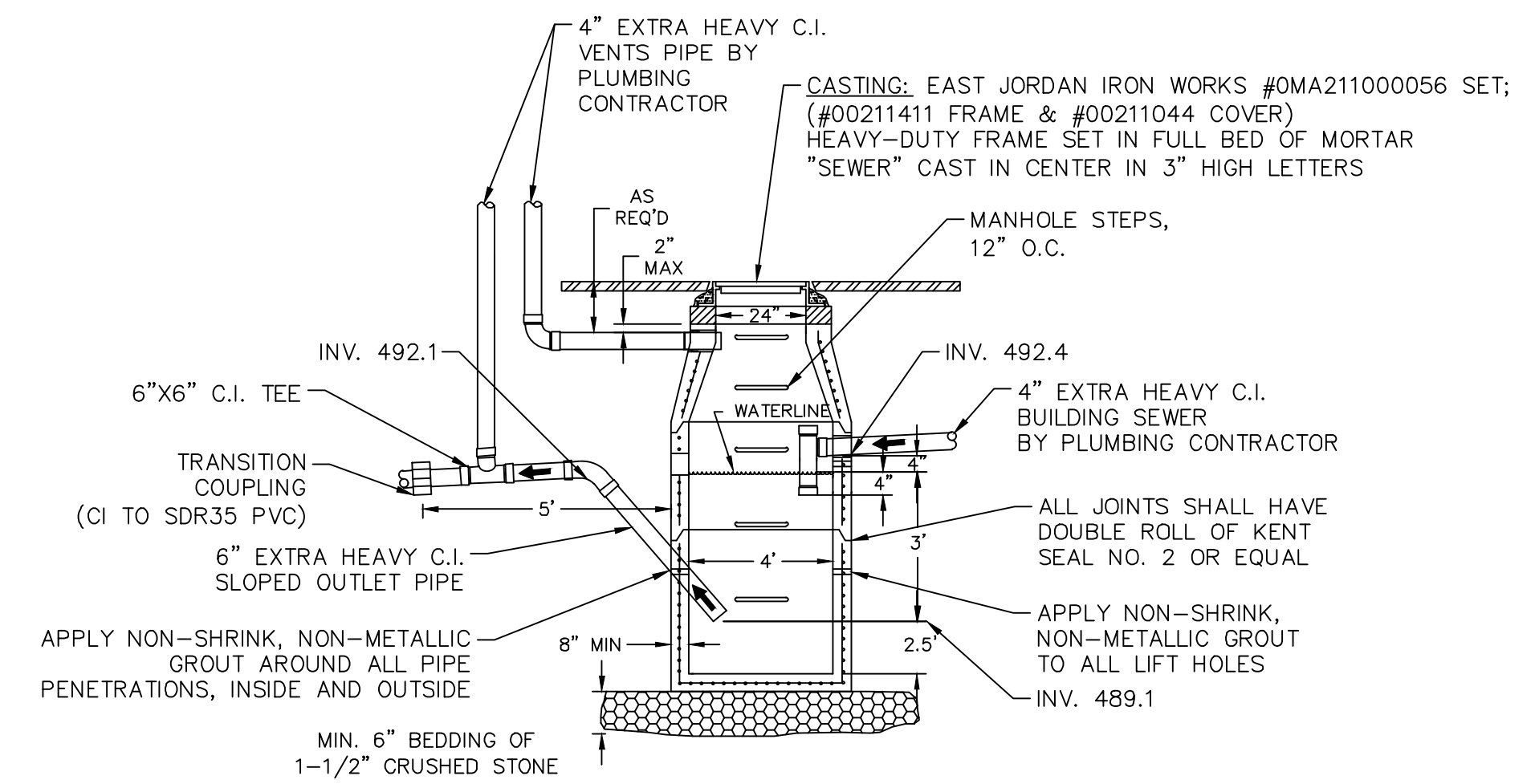
10,000 GALLON ROOF RUNOFF STORAGE TANK NTS

- NOTE:
- 1) THE TANK SHALL CONFORM TO THE 310 CMR (TITLE 5) REQUIREMENTS FOR CONSTRUCTION AND WATERTIGHTNESS.
  - 2) THE DESIGN IS BASED UPON THE DIMENSIONS OF A TANK MANUFACTURED BY SHEA CONCRETE PRODUCTS, AMESBURY, MA (MODEL 8X17-75 TK-10000C2C)
  - 3) TANK SHALL BE DESIGNED TO BE WATERTIGHT AND WITHSTAND HS-20 LOADING MINIMUM.



PERIMETER DRAIN DETAIL NTS

- NOTE:
- 1) PERIMETER DRAIN SHALL CONNECT TO THE PROPOSED SITE DRAINAGE SYSTEM WITH A POSITIVE SLOPE AND OUTFALL.
  - 2) SEE ARCHITECTURAL PLANS FOR DRAIN LOCATIONS.



OIL/WATER SEPARATOR NTS

- NOTES:
- 1) OIL WATER SEPARATOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MASSACHUSETTS PLUMBING CODE. IN THE EVENT OF DISCREPANCY BETWEEN THE CODE AND THIS DRAWING, THE CODE SHALL SUPERCEDE.
  - 2) ALL PIPING INCLUDING VENTS FROM BUILDING TO TRANSITION COUPLING SHALL BE CAST IRON INSTALLED BY PLUMBING CONTRACTOR.

PLAN VIEW  
TOP SLAB NOT SHOWN

SECTION A-A

**STORMCEPTOR DESIGN NOTES**

THE STANDARD STC450I CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WATER QUALITY FLOW RATE (cfs [L/s])	PEAK FLOW RATE (cfs [L/s])	RETURN PERIOD OF PEAK FLOW (yrs)	RIM ELEVATION

PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			

NOTES / SPECIAL REQUIREMENTS:

**FRAME AND COVER**  
(MAY VARY)  
NOT TO SCALE

**FRAME AND GRATE**  
(MAY VARY)  
NOT TO SCALE

**GENERAL NOTES**

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contech-es.com](http://www.contech-es.com)
3. STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
4. STORMCEPTOR STRUCTURE SHALL MEET AASHTO H20D LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (0.61M) AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M270 AND BE CAST WITH THE CONTECH LOGO.
5. STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
6. ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

**INSTALLATION NOTES**

- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**Stormceptor**

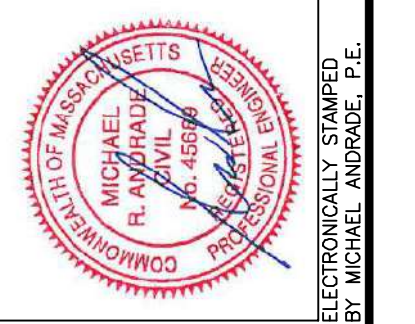
www.stormceptor.com

STC450I  
STORMCEPTOR  
STANDARD DETAIL

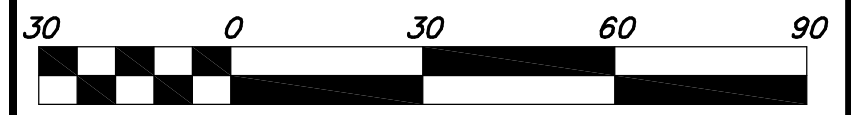
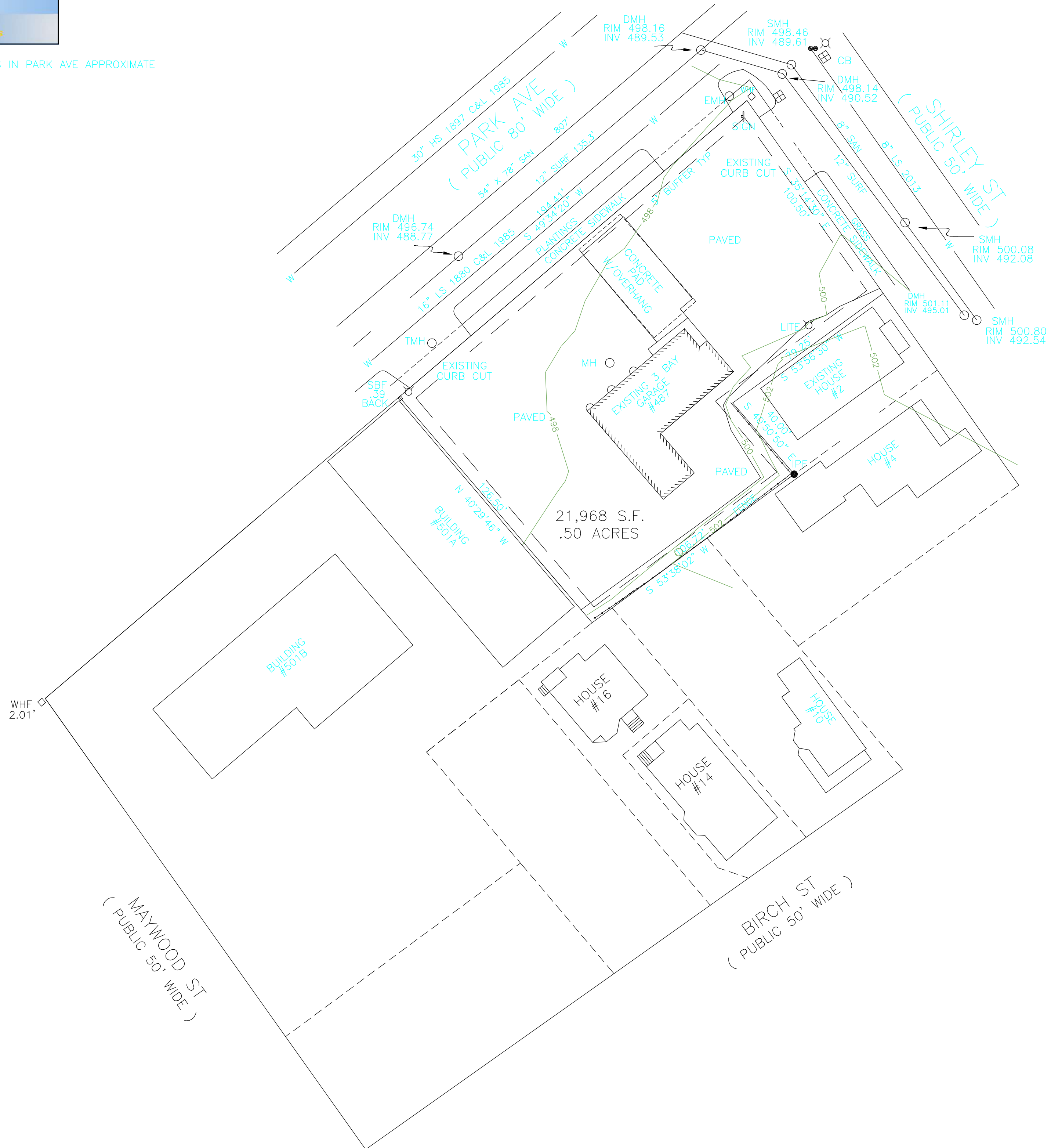
- NOTE:
- 1) THIS DETAIL IS AN ACCEPTABLE MANUFACTURER; REFER TO THE SPECIFICATIONS FOR OTHERS.

WATER QUALITY UNIT NTS

NO.	DATE	BY	DESCRIPTION	REVISIONS
1	03/25/24	DFS	ISSUED FOR PERMITTING	



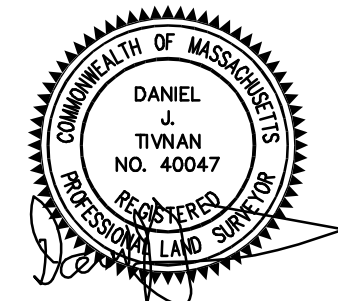
NOTE : WATER LINES IN PARK AVE APPROXIMATE



SCALE 1" = 30'

ASSESSOR REFERENCE(S):  
409-43  
PLAN REFERENCE(S):  
409-43  
DEED REFERENCE(S):  
9088-208

THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

**his&t group, inc**  
PROFESSIONAL CIVIL ENGINEERS & LAND SURVEYORS  
75 HAMMOND STREET - 2ND FLOOR  
WORCESTER, MASSACHUSETTS 01610-1723  
PHONE: 508-757-4944 EMAIL: INFO@HSTGROUP.NET  
FAX: 508-752-8895 WWW.HSTGROUP.NET

**EXISTING CONDITIONS PLAN**  
487 PARK AVE WORCESTER MA

APPLICANT(S)/OWNER(S):  
OLSI GJINKO  
487 PARK AVE WORCESTER MA

DATE: 08-28-23	COMP'D: DJT	FIELD: PS
SCALE: 1"=30'	CAD: DJT	FLD. BK: 620-28
ZONE: BG-3.0	REV'D:	PARK487PL

JOB NUMBER: 7876  
DWG NUMBER: 5608

SHEET NUMBER  
1 OF 1

# PROPOSED BUILDING

TOTAL FLOORS = 7+

TOTAL FLOOR AREA = 45,864 SF

1ST FLOOR = 4374 SF

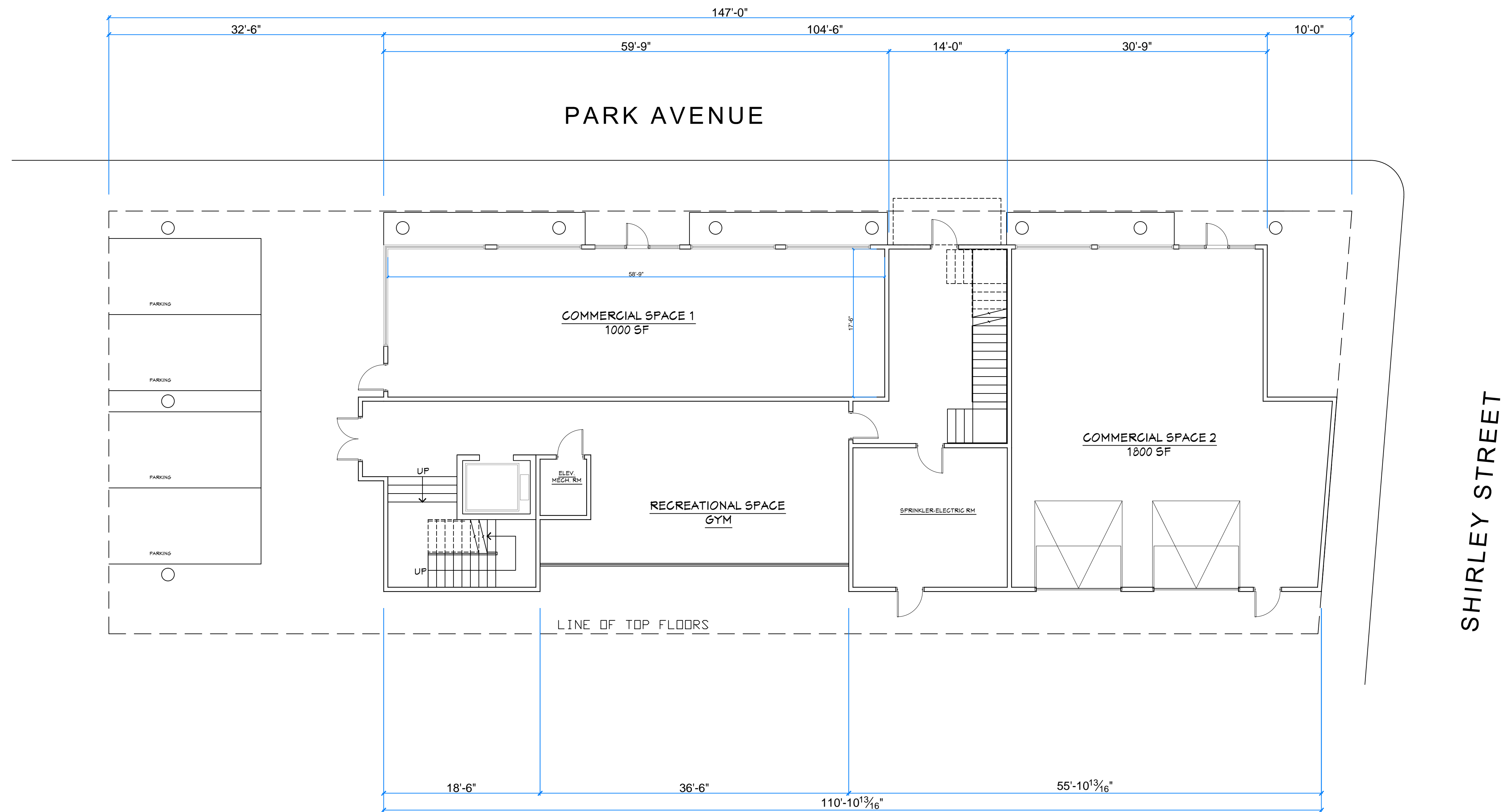
- 2 COMMERCIAL UNITS
- RESIDENTS COMMON AREA

2ND, 3RD, 4TH, 5TH, 6TH FLOORS

- 7250 SF EACH
- 8 TWO-BEDROOM RESIDENTIAL UNITS EACH

7TH FLOOR

- 5240 SF EACH
- 3 LOFTS
- ROOF TOP RECREATIONAL SPACE
- ROOF GARDEN

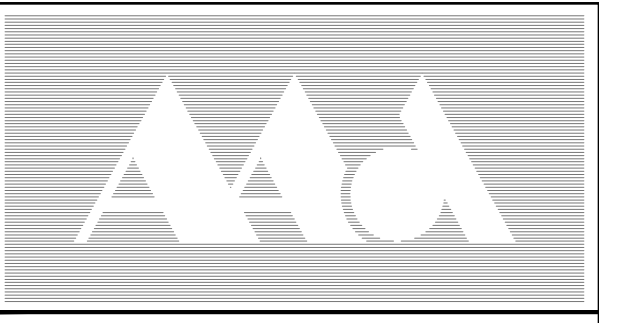


## 1ST FLOOR

2 COMMERCIAL UNITS, 2800 SF

RESIDENT'S COMMON AREA

RECREATIONAL SPACE



**AAD** DESIGN SERVICES L.L.C.  
43 MONROE AVE, WORCESTER, MA 01602  
TEL: 508-769-0579 . FAX: 508-754-5415

PROJECT NAME:

MIXED USE BUILDING

PROJECT NO: C23630

PROJECT ADDRESS:

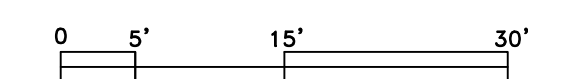
487 PARK AVENUE  
WORCESTER, MA

SHEET TITLE:

PRELIMINARY FLOOR PLANS

STAMP:

SCALE: AS SHOWN



DATE: 9-5-2023

REVISIONS:

SHEET NO:

1

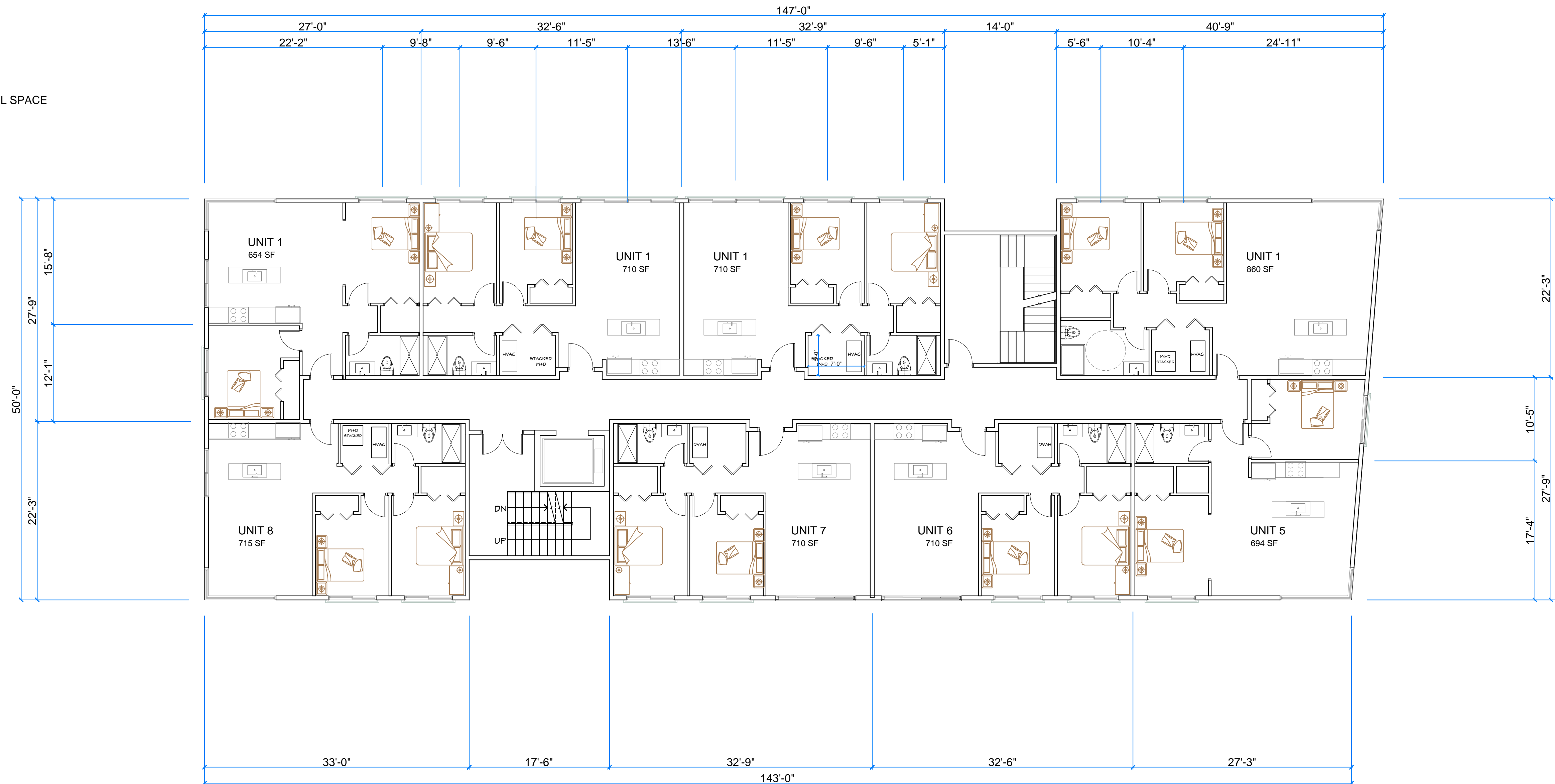
# PROPOSED BUILDING

TOTAL FLOORS = 7+  
 TOTAL FLOOR AREA = 45,864 SF

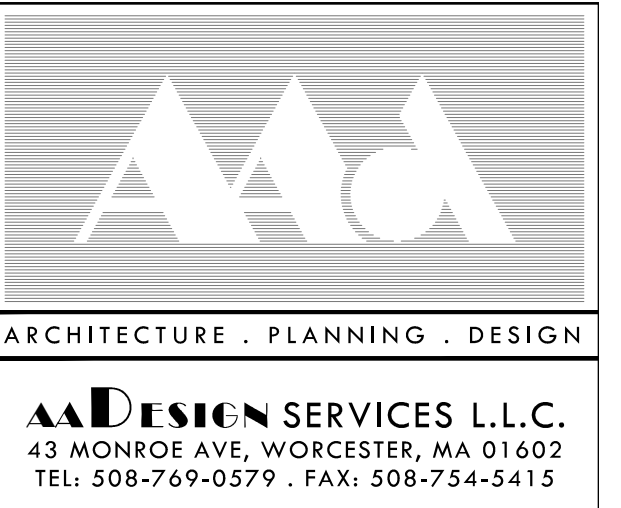
- 1ST FLOOR = 4374 SF
- 2 COMMERCIAL UNITS
  - RESIDENTS COMMON AREA

- 2ND, 3RD, 4TH, 5TH, 6TH FLOORS
- 7250 SF EACH
  - 8 TWO-BEDROOM RESIDENTIAL UNITS EACH

- 7TH FLOOR
- 5240 SF EACH
  - 3 LOFTS
  - ROOF TOP RECREATIONAL SPACE
  - ROOF GARDEN



**FLOORS 2-6**  
 8-TWO BEDROOMS RESIDENTIAL UNITS / FLOOR  
 FLOOR AREA = 7250 SF / FLOOR



PROJECT NAME:  
**MIXED USE BUILDING**

PROJECT NO: C23630  
 PROJECT ADDRESS:  
 487 PARK AVENUE  
 WORCESTER, MA

SHEET TITLE:  
**PRELIMINARY FLOOR PLANS**

STAMP:

SCALE: AS SHOWN

DATE: 9-5-2023

REVISIONS:

SHEET NO:  
**2**

## PROPOSED BUILDING

TOTAL FLOORS = 7+

TOTAL FLOOR AREA = 45,864 SF

1ST FLOOR = 4374 SF

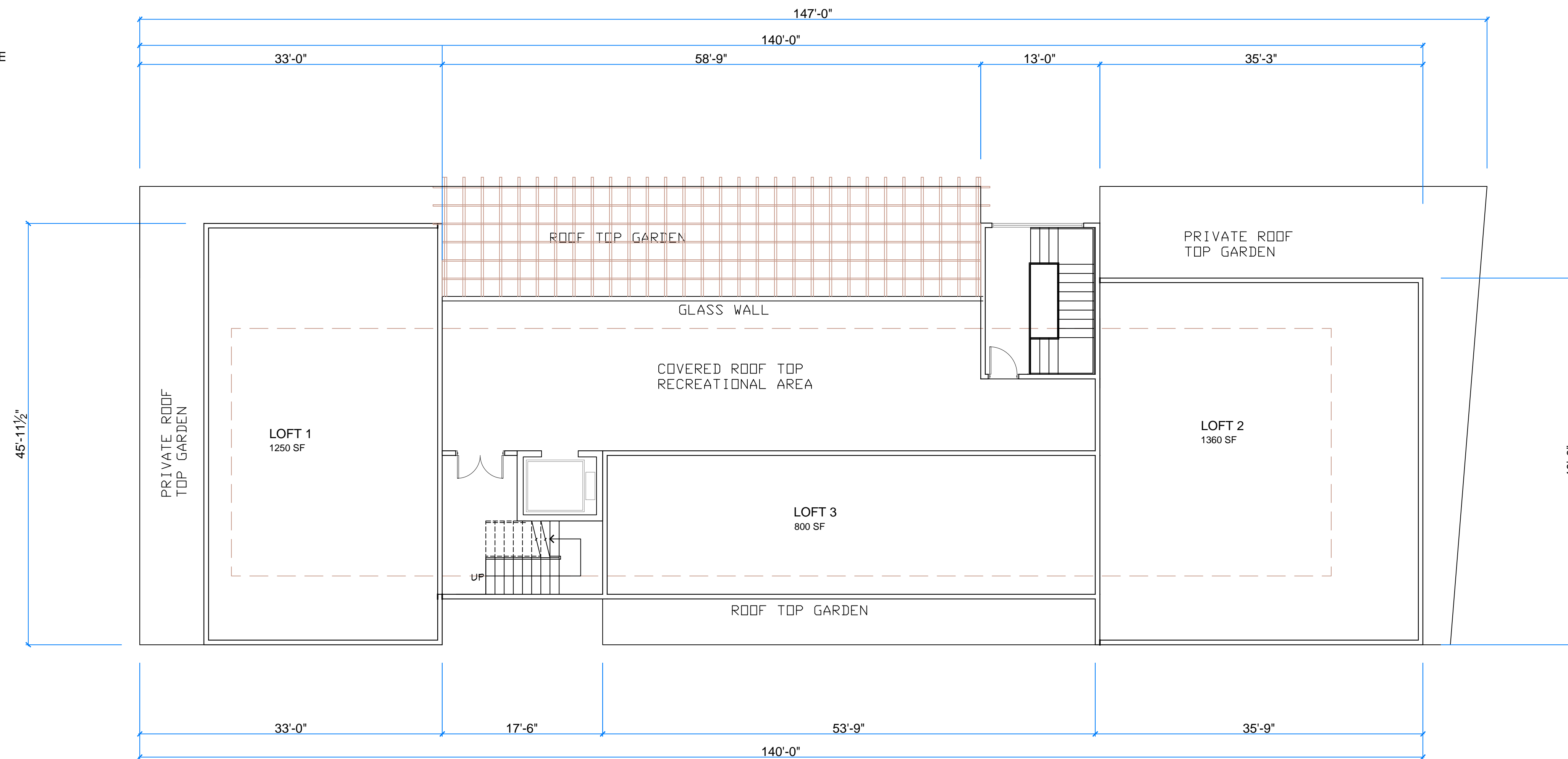
- 2 COMMERCIAL UNITS
- RESIDENTS COMMON AREA

2ND, 3RD, 4TH, 5TH, 6TH FLOORS

- 7250 SF EACH
- 8 TWO-BEDROOM RESIDENTIAL UNITS EACH

7TH FLOOR

- 5240 SF EACH
- 3 LOFTS
- ROOF TOP RECREATIONAL SPACE
- ROOF GARDEN



## 7TH FLOOR

3 RESIDENTIAL LOFTS  
RECREATIONAL COMMON AREA  
ROOF DECK GARDEN



ARCHITECTURE . PLANNING . DESIGN

**AAD** DESIGN SERVICES L.L.C.  
43 MONROE AVE. WORCESTER, MA 01602  
TEL: 508-769-0579 . FAX: 508-754-5415

PROJECT NAME:

MIXED USE  
BUILDING

PROJECT NO: C23630

PROJECT ADDRESS:

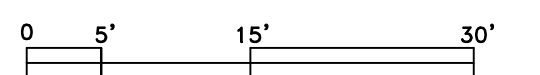
487 PARK AVENUE  
WORCESTER, MA

SHEET TITLE:

PRELIMINARY  
FLOOR PLANS

STAMP:

SCALE: AS SHOWN



DATE: 9-5-2023

REVISIONS:

SHEET NO:

3

OWNER:

X

PROJECT NAME:

**MIXED USE BUILDING**

PROJECT NO: C171015

PROJECT ADDRESS:

**487 PARK AVENUE  
 WORCESTER, MA**

SHEET TITLE:

**MAIN  
 ELEVATION**

STAMP:

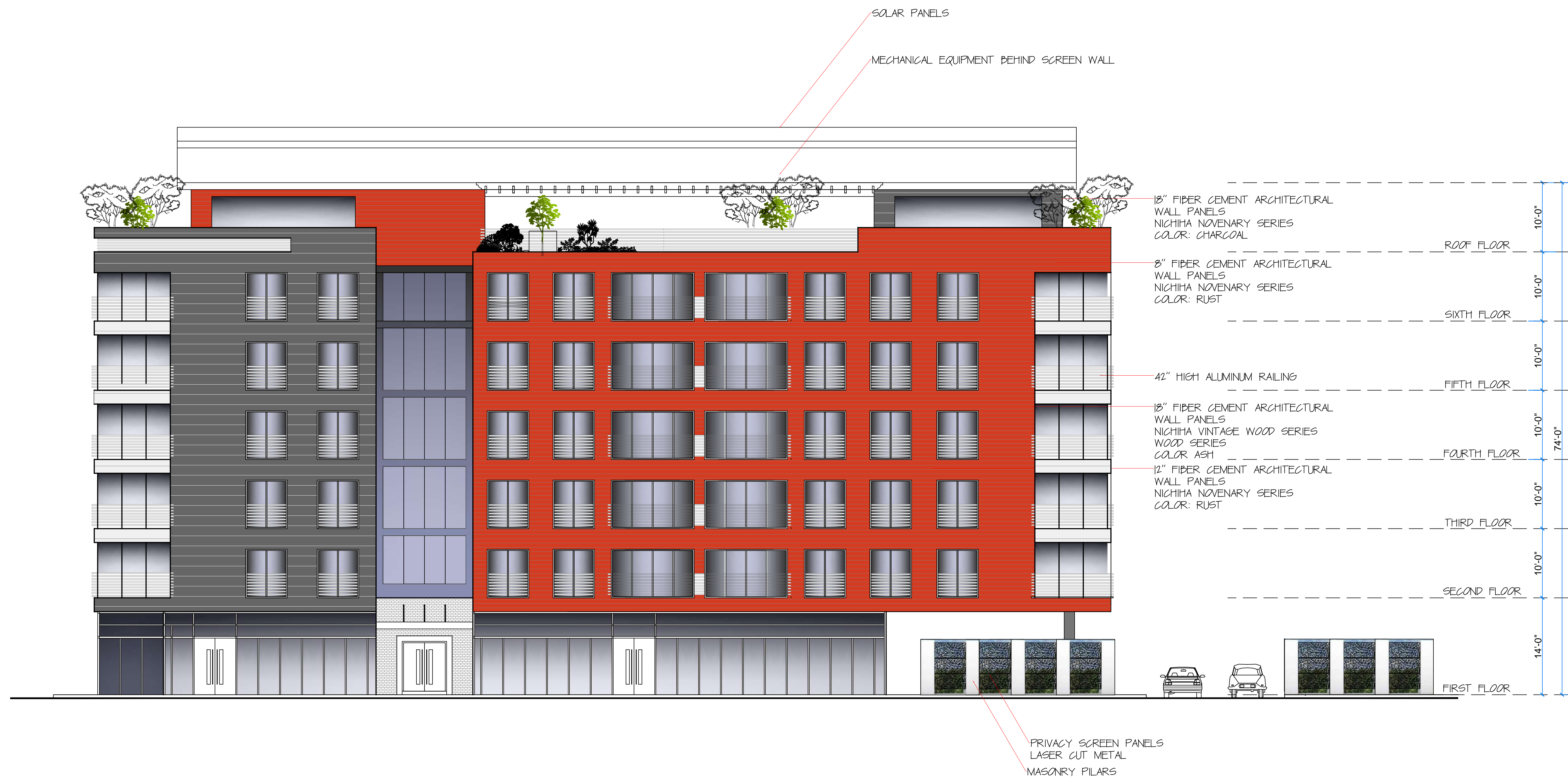
SCALE: AS SHOWN

DATE: 9-5-2023

REVISIONS:

SHEET NO:

4



**NORTH ELEVATION (PARK AVE )**

SCALE: 1/8" = 1'